

TOWN OF ATHERTON PLANNING COMMISSION APPLICATION




	TYPE OF APPLICATION	FEE*
<input checked="" type="checkbox"/>	Appeal	\$872.32
<input type="checkbox"/>	Special Structures Permit	\$3,025.12
<input type="checkbox"/>	Heritage Tree Removal Permit	\$2,325.82
<input type="checkbox"/>	Tree Protection Zone Exception	\$2,325.82
<input type="checkbox"/>	Variance	\$3,025.12
<input type="checkbox"/>	Conditional Use Permit	\$3,025.12
<input type="checkbox"/>	General Plan Amendment	\$5,817.15
<input type="checkbox"/>	Initial Review/Negative Declaration	\$2,325.82
<input type="checkbox"/>	Lot Line Redesignation	\$3,025.12
<input type="checkbox"/>	School Master Plan	\$872.32
<input type="checkbox"/>	Tentative Parcel Map	\$3,025.12
<input type="checkbox"/>	Final Parcel Map	\$3,025.12
<input type="checkbox"/>	Zoning Ordinance Amendment	\$5,817.15
<input type="checkbox"/>	Environmental Impact Report	Actual cost

*All Fees Include 3.6% Technology Surcharge


SITE ADDRESS: 76 Ridge View Drive APN: 073-181-450

Provide a brief description of the proposed project: permit penalty fee appeal

PROPERTY OWNER:

Name: Byron and Allison Deeter
Mailing Address: 76 Ridge View Drive. Atherton 94027
Phone: 650-279-2584
Email: alli.deeter@gmail.com
Signature:  2/2023 | 9:50:05 PM PDT

APPLICANT:

Name: Behrens Curry Homes
Mailing Address: 585 Taylor Way. Unit 1. San Carlos 90470
Phone: 650-631-2909
Email: samantha@behrenscurry.com
Signature:  3/22/2023 | 2:45:36 PM PDT

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FOR COMPLETION BY TOWN OF ATHERTON:

Amount Paid: _____ Received by: _____ Date Submitted: _____

Project #: _____

76 Ridge View - Permit Penalty Fee Appeal

3.23.2023

This is a request to the Town of Atherton to refund the permit penalty fees to Behrens Curry Homes and the Deeter Family for the 76 Ridge View Drive project. The delays in construction were due to the challenges of Covid-19, supply chain issues, defective windows and doors, and the increase in the amount of foundation piers required. We understand that the Town of Atherton has strict regulations, and the penalty fees are an incentive for the timely completion of construction. However, considering the extenuating circumstances outlined below, we believe that refunding the permit penalty fees is the most equitable solution. We thank the Town of Atherton for taking the time to consider this request.

Introduction

Reference Exhibit A

76 Ridge View is a new 15,500 sqft three-story custom home with an outdoor patio, pool, detached garage, separate guest house, and a full landscaping package (Exhibit A). The grading permit was approved on 7/31/18, and BCH broke ground 8/6/18. The original complete project schedule was estimated to be 32 months, projected to finish May 2021. Due to the main reasons highlighted below in this narrative, the completion date was pushed until January 2023.

A brief outline of the project's penalty payment schedule:

- 4/21/22: The 36-month permit allowance + 139 calendar day Atherton COVID extension ends
- 4/22/22-5/22/22: 30-day grace period
- \$30,000 deposit was paid to Town of Atherton for the \$200/day and \$400/day penalties during the first 90 days past the grace period
- \$220,000 deposit was paid on 8/19/22 for the next 220 days of delay
- Final permit was signed off on 1/18/23, resulting in a \$70,000 refund

BCH and the Deeter family would like to appeal the remaining \$180,000 for the reasons explained below.

The exterior window and door package for this project caused an estimated 15+ months of delay. This was due to a combination of COVID related issues (factory shut downs, supply shortages, delayed deliveries, and reduced manpower) and quality issues (damaged frames and glass, missing parts, and rejected deliveries). BCH could not install many units as they were not delivered on-time or correctly, spending hundreds of hours fixing the parts that could be corrected on site and working out of sequence to accommodate sporadic deliveries of material. In addition, as a result of not having exterior windows and doors installed, other scopes were delayed – exterior scopes that were dependent on the installation of the windows/doors could not be installed out of sequence, and interior scopes required the building to be enclosed and temperature acclimated to prevent damage and warping.

The piers in the foundation also caused approximately 3 months of delay, between the rain delays and the addition of 91 additional piers due to soil conditions. The 27 rain days during the winters of 2018 and 2019 - when piers were being drilled and poured - resulted in a 63 working day delay (12.5 weeks) of reduced or no work on site. Also, the geotechnical engineer on site required additional soils testing throughout the entire pier-drilling process, which prevented BCH following the original work flow and scheduled durations. Unforeseen circumstances such as hitting old piers, bedrock, and water resulted in additional time spent drilling and pouring too.

Lastly, the extensive effects of COVID and the consequential delays had huge, lasting impacts. Many factories shut down all production for weeks, and were forced to work at a reduced capacity for many months after re-opening.

Unpredictable COVID positive cases in factories and on site resulted in many crews not being able to work. Supply chains saw completely unpredictable lead times jump up by months, resulting in delays that were beyond the owner's, BCH's, and even the subcontractor's control. These supply chain effects are still ongoing now, with lead times for windows being over 30 weeks and appliances going up to 18 months and more – just to list a few examples.

Window Delays

Reference Exhibits B, C and D

- COVID greatly affected the production, lead times, and delivery of Western windows
- When the COVID shutdown first began, the factory had to shut down as part of county mandates. During the shutdown, many workers quit, leaving them short on manpower and with insufficient crews for production.
- 10/8/20 - BCH received notice that Western was shut down for a couple of weeks due to a COVID infection, which halted all production and deliveries. Afterward, production would be slower due to fewer workers allowed in the factory, following county COVID mandates.
- Many parts had to be back ordered from the factory due to supply chain issues.
- BCH had to take many additional measures to mitigate further schedule delays and impact to construction due to delays in windows. BCH had to weatherize the building due to missing windows temporarily, add additional scaffolding for the installation of delayed windows and doors
- Quality issues: delays caused Western's damaged frames, damaged glass, lack of caulking, etc. BCH had to remove and re-install damaged glass and frames that were delivered damaged. This directly resulted from inexperience and / or lack of workforce at the factory.
- Quality issues - BCH spent hundreds of hours fixing door frames, issues with silicone, and winterizing for windows that missed their delivery deadlines.
- Spacer bars were delivered to the site damaged, and glass had to be rejected.
- The entry door was delivered to the site incorrectly three separate times, and the rear entry was delivered a year late - each cycle requiring multiple months for them to order the corrected parts and reassemble
- As a result of all these window delays, many other construction activities were directly impacted and delayed. Exterior activities were affected due to window frames not being installed and access to big equipment (i.e., cranes). Interior activities were delayed because many finishes (ex., cabinets, flooring, wall finishes, and more) could only be installed with a weatherized, acclimated envelope.

Rain Delays During Foundation

Reference Exhibit E

- During the winters of 2018 and 2019, when foundations work was being done, constant storms were causing many schedule delays on site. We had approximately 160% of average rainfall during this work.
- During pier drilling and welding, there were:
 - 11/21/18-1/16/20
 - 27 rain days (not including weekends)
 - 63 delay days as a result of the rain (as piers cannot be drilled and poured in inclement weather, per our soils engineer)
- As piers were drilled, the geotechnical engineers required extensive testing and additional piers to be installed.
 - The geotechnical engineer required that BCH drill all the piers in phases (i.e., in groups of 10-15, not consecutively as in a typical workflow). Then BCH would have to pause for additional soils testing, as the engineers would re-assess the dimensions and requirements for each pier. Many piers had to increase in depth. This process was significantly slower than the workflow and schedule initially discussed.

- While digging new piers, BCH hit bedrock, water, and old piers, which added many weeks of additional work. This required changing drill bits each time an old piers or bedrock was hit.
- The original plan for the main dwelling had 66 piers; by the end, there were 157, more than twice over.
- Many activities require specific soil conditions to complete, such as trenching or pouring concrete. BCH pushed to work through rain whenever it was safe enough to do so, but even then, the productivity of installation was affected. For example, installing formwork for a concrete pour went slower on days when it was raining, so the pour date would have to be pushed back to adjust accordingly. And then, after the rain days, certain activities - such as installing waterproofing - require things to dry out on site before the work can get done.
- More time and manpower were spent on weatherizing, which took away from the actual construction work. Workers would have to spend time setting up tarps, wire water pumps, and overall mud up. The days immediately following rain days were usually spent pumping water and cleaning up the site to provide a safe working environment.
- We fully understand the weather is a factor in construction. Still, we got hit with a tremendous amount of rain during this phase of construction which directly affected how the consultant team and build team could move forward with our original project plan.

Wood to Steel Frame - Over Double the Amount of Piers

Reference Exhibits F and G

- The plan for the house in 2017 was initially slated for a wood frame. Due to the soil conditions and the structural requirements for the design, the structure shifted to a steel frame superstructure with wood infill. This was necessary to ensure the stability and safety of the home, but it also required additional time and resources to complete. Despite the challenges, we remained committed to completing the construction to the highest standards, which is why we made the necessary adjustments to the foundation. Below is a breakdown of the increase in piers.
 - Required 91 additional piers (originally 66 piers / actual 157 piers)
 - Main House: prelim 40 / actual 76
 - Garage: prelim 10 / actual 15
 - Guest House: prelim 8 / actual 18
 - Pool: prelim 8 / actual 40
 - Addition Piers
 - 8 piers at site wall between GH and Garage

COVID and Manpower

Reference Exhibit H

- Projects were completely shut down for almost seven weeks
 - Shutdown begins 3/17/20
 - Work authorized to begin 5/4/20
 - BCH used 5/4/20 to get Ridge View SMC compliant
 - Construction started 5/5/20
- Following San Mateo County guidelines for PPE, social distancing, etc., which affected productivity and manpower on the job.
- As people got sick with COVID, they would have to stay home per the county guidelines implemented at whatever present time. That meant days/weeks of delay on installation for multiple trades. Some contractors only have one crew; if they all got sick, there was no way to maintain a schedule.
- Reference email records of COVID sick cases.

- Although there was a 139-calendar day (which translates into 99 working days, as Atherton does not permit weekend work) permit extension from Atherton, the rippling effects of COVID had a much more significant impact on material delays and overall manpower/productivity.

Supply Chain

Reference Exhibit J

- Our material orders have been directly related to the shutdowns nationwide and globally. The stone order for the exterior paving showed up seven to eight months later than our original estimate from the supplier. This and other delays have never been seen before on this scale and have directly resulted in delayed project completion.
- Our team looked at options to shift stone materials with a shorter lead time, and any opportunities we looked at, foreign and domestic, were either the same or longer.

As previously stated, the construction delays were caused by factors beyond our control. These unforeseen challenges impacted the project's timeline, resulting in penalty fees. Again, we recognize why the Town of Atherton imposes strict guidelines to keep the construction of homes to a reasonable timeline, as it's an inconvenience to the residents. This project would have been completed on schedule if we had not had such significant impacts.

Thank you for your time and consideration in this matter.

Spencer Curry
Owner
Behrens Curry Homes

Attached Exhibits:

Exhibit A: Architectural Drawings for 76 Ridge View
Exhibit B: Window Delay E-mail from Tyler Whitaker at Argonaut dated 10.8.2020
Exhibit C: Window Delay E-mail from Tyler Whitaker at Argonaut dated 5.24.2021
Exhibit D: Window Delay Notification to Owners dated. 6.9.2021
Exhibit E: Weather Delay Description from Randy Prince at Bill Brown Construction
Exhibit F: Structural Narrative from ZFA Structural Engineers dated 12.1.1207
Exhibit G: Plan Sheets with updated piers dated 4.10.2020, 1.17.2020, 10.04.2019, and 09.14.2018
Exhibit H: Covid Positive Test Result Notifications from Subcontractors
Exhibit J: Stone Shipping Delay E-mail dated 6.27.2022



Exhibits for 76 Ridge View Appeal

Exhibit A: Architectural Drawings for 76 Ridge View

Exhibit B: Window Delay E-mail from Tyler Whitaker at Argonaut dated 10.8.2020

Exhibit C: Window Delay E-mail from Tyler Whitaker at Argonaut dated 5.24.2021

Exhibit D: Window Delay and Owner Notification date 6.9.2021

Exhibit E: Weather Delay Description from Randy Prince at Bill Brown Construction

Exhibit F: Structural Narrative from ZFA Structural Engineers dated 12.1.2017

Exhibit G: Plan Sheets with updated piers dated 4.10.2020, 1.17.2020, 10.04.2019, and 09.14.2018



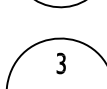

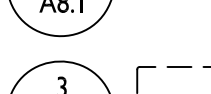

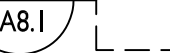

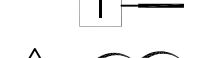

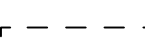

Exhibit H: Covid Positive Test Result Notifications from Subcontractors

Exhibit J: Stone Delay E-mail from Walton and Sons and Peninsula Building Materials dated 6.24.2022

GENERAL NOTES

1. THE WORK INCLUDED UNDER THIS CONTRACT CONSISTS OF ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT, LEAVING ALL WORK READY FOR USE.
2. ALL CONSTRUCTION SHALL CONFORM TO THE 2016 CALIFORNIA RESIDENTIAL CODE (CRC), 2016 CALIFORNIA BUILDING CODE (CBC) (STRUCTURAL PROVISIONS ONLY), 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBCS), 2016 CALIFORNIA ELECTRICAL CODE (CEC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA ELECTRIC CODE (CEC) (BASED ON THE 2014 NEC), 2016 CALIFORNIA ENERGY STANDARDS (CEC PART 6), AND THE 2016 CALIFORNIA FIRE CODE (CFC), IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF AIA GENERAL CONDITIONS DOCUMENT A-201.
4. ALL EXISTING UTILITY TRENCH BACKFILLING, SLAB SUBGRADE AND NON-EXPANSIVE FILL PREPARATION, BASEMENT EXCAVATION AND DRAINAGE, BASEMENT WALL BACKFILLING, FOUNDATION, SLAB, AND PAVEMENT CONSTRUCTION, SITE RETAINING WALL DRAINAGE, AND BACKFILLING, SITE DRAINAGE, AND GEOTECHNICAL OBSERVATION AND TESTING DURING CONSTRUCTION SHOULD BE PERFORMED AS RECOMMENDED IN THE GEOTECHNICAL REPORT PREPARED BY MURRAY ENGINEERS, DATED OCTOBER 24, 2017. MURRAY ENGINEERS SHALL BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTIFICATION (650-559-9980) PRIOR TO THE START OF EARTHWORK AND SHOULD BE PRESENT TO OBSERVE AND TEST, AS NECESSARY, DURING THE EARTHWORK AND FOUNDATION CONSTRUCTION PHASES OF THE PROJECT. THE OWNER HAS RETAINED MURRAY ENGINEERS SOLELY FOR THE BENEFIT OF THE OWNER. THE GENERAL CONTRACTOR AND ITS SUBCONTRACTORS HAVE NO RIGHT TO RELY ON MURRAY ENGINEERS' QUALITY ASSURANCE SERVICES OR REPORTS TO MEET THEIR QUALITY CONTROL REQUIREMENTS. MURRAY ENGINEERS IS NOT RESPONSIBLE FOR THE CONTRACTOR'S CONSTRUCTION METHODS OR FOR SITE SAFETY.
5. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR FOR DIMENSION, GRADE, EXTENT, AND COMPATIBILITY TO THE EXISTING SITE. ANY ERRORS, OMISSIONS, CONFLICTS, DISCREPANCIES, AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE EVENT OF DISCREPANCIES OR UNEXPECTED CONDITIONS UNTIL THE DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE SHALL BE PROCEEDING AT HIS OWN RISK.
6. ANY REVISION TO THE APPROVED SET OF PLANS MUST BE SUBMITTED TO AND APPROVED BY THE TOWN OF ATHERTON BUILDING AND PLANNING DEPARTMENT PRIOR TO THE REVISION BEING CONSTRUCTED.
7. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF THE CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL THE TRADES, AND SHALL PROVIDE A SUBSET OF THE CONSTRUCTION DOCUMENTS AS REQUIRED.
8. THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PERITS. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.
9. WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS.
10. ALL DIMENSIONS TO AND FROM NEW CONSTRUCTION WHEN SHOWN IN PLAN ARE TO FACE OF STUD OR STRUCTURAL MEMBER UNLESS OTHERWISE NOTED.
11. ALL DIMENSIONS ON REFLECTED CEILING PLANS AND ELEVATIONS ARE FROM FACE OF FINISH OR CENTER LINE OF COLUMN TO CENTER LINE OF FIXTURE OR GROUP OF FIXTURES UNLESS OTHERWISE NOTED.
12. ALL VERTICAL DIMENSIONS ARE TO FACE OF FINISH AND FINISH FLOOR UNLESS OTHERWISE NOTED.
13. ALL DIMENSIONS NOTED "VERIFY" AND "VUF" ARE TO BE CHECKED BY CONTRACTOR PRIOR TO CONSTRUCTION. IMMEDIATELY REPORT ANY VARIANCES TO THE ARCHITECT FOR RESOLUTION.
14. ALL WALLS ARE WOOD STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.
15. CONTRACTOR SHALL PROVIDE ALL SEISMIC BRACING AND HOLD-DOWN CLIPS AS REQUIRED BY CODE FOR ALL SUSPENDED CEILING AND SOFFIT FRAMING CONDITIONS.
16. GOOD PRACTICE: WITH EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO: IRRIGATION PIPES, ELECTRICAL CONDUIT, WATER MAINS, GAS MAINS, DRAINAGE LINES, ETC. PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE THE STRUCTURAL VALUE OR INTEGRITY OF THE BUILDING.
18. PROTECT ALL EXISTING BUILDING AND SITE CONDITIONS TO REMAIN INCLUDING WALLS, CABINETS, FINISHES, TREES AND SHRUBS, PAVING, ETC.
19. DETAILS SHOWING SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
20. VERIFY ALL ARCHITECTURAL DETAILS WITH STRUCTURAL, CIVIL, KITCHEN EQUIPMENT, AND DESIGN/BUILD DRAWINGS BEFORE ORDERING OR INSTALLATION OF ANY WORK.
21. WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON THE DRAWINGS.
22. WITHSTAND FROM THE WINDINGS AND SPECIFICATIONS OR MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MISDESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
23. ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
24. INSTALL ALL FIXTURES, EQUIPMENT AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
25. VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, ETC. BEFORE ANY CONSTRUCTION, ORDERING, OR INSTALLATION OF ANY ITEMS OF WORK.

SYMBOLS

	<u>BUILDING SECTION NUMBER</u> SHEET NUMBER		DOOR SYMBOL
	<u>DETAIL NUMBER</u> SHEET NUMBER		WINDOW SYMBOL
	<u>ENLARGED DETAIL NUMBER</u> SHEET NUMBER		KEY NOTE, SEE A0.3
	<u>PARTITION TYPE, SEE A0.5</u>		FINISH NOTE, SEE A0.2
	<u>REVISION</u>		CONC. WALL
			(E) WALL TO BE REMOVED
			STUD WALL

An architectural rendering of a modern building complex. The building features a mix of materials, including light-colored stone walls and dark, possibly black, structural elements and window frames. It has a multi-level design with flat roofs and large glass sections. In the foreground, there is a lush green lawn with several trees. A paved path with light-colored rectangular tiles leads through the lawn. A low, wide stone wall is positioned in the immediate foreground. The background shows more trees and a clear blue sky.

76 RIDGE VIEW DRIVE
ATHERTON, CALIFORNIA
APN : 073-181-450

PROJECT STATISTICS			
PROJECT LOCATION:	76 RIDGE VIEW DRIVE ATHERTON, CA 94027	CALCULATION LOCATIONS	SHEET
A.P.N. #	073-181-450	AVERAGE NATURAL GRADE	A.I.1
PROJECT TYPE:	NEW SINGLE FAMILY DWELLING. GUEST HOUSE & DETACHED GARAGE UNDER SEPARATE PERMITS.	FLOOR AREA	A.I.2
		WHOLE BUILDING VENTILATION	A.I.2
EXISTING CONDITIONS:	NONE	BUILDING DEPARTMENT FLOOR AREA (SEE A.I.2):	
ZONING:	R-1A	GROUND FLOOR:	4,630.43 S.F.
OCCUPANCY:	R-3 SINGLE FAMILY DWELLING	SECOND FLOOR:	2,522.89 S.F.
CONSTRUCTION TYPE:	VB	BASEMENT:	4,963.78 S.F.
STORIES:	TWO OVER FULL BASEMENT	DETACHED GARAGE (SEPARATE PERMIT):	1,800.50 S.F.
FIRE SPRINKLERS:	YES	GUEST HOUSE (SEPARATE PERMIT):	760.39 S.F.
FIRE FLOW:	PER CAL WATER RECORDS	TOTAL FLOOR AREA:	14,677.99 S.F.
LOT SIZE:	54,149 S.F.	TOTAL OUTDOOR COVERED AREA:	899.98 S.F.
		PLANNING DEPARTMENT FLOOR AREA (SEE A.I.2):	
		GROUND FLOOR:	5,562.73 S.F.
		SECOND FLOOR:	2,522.89 S.F.
		DETACHED GARAGE (SEPARATE PERMIT):	896.65 S.F.
		GUEST HOUSE (SEPARATE PERMIT):	760.39 S.F.
		TOTAL FLOOR AREA:	9,742.66 S.F.
		TOTAL OUTDOOR COVERED AREA:	899.98 S.F.
LIMITING STATISTICS:		PROPOSED IMPERVIOUS AREA: SEE SHEET C.O.0	
MAXIMUM TOTAL FLOOR AREA	54,149 S.F. (18) = 9,747 S.F.		
MAXIMUM FLOOR AREA FOR SECOND LEVEL OF MAIN RESIDENCE:	54,149 S.F. (075) = 4,061 S.F.		
MAXIMUM TOTAL ROOFED AREA FOR ACCESSORY STRUCTURES:	(54,149 S.F. (200 S.F.)) / (43,560 S.F. = 1,492 S.F.		
MAXIMUM TOTAL ROOFED AREA OPEN ON TWO OR MORE SIDES			
NOT COUNTED TOWARDS FLOOR AREA:			
	9,747 S.F. (05) = 500 S.F. = 987 S.F.		

<h1>DEFERRED SUBMITTALS</h1>	
<ol style="list-style-type: none">1. ELECTRICAL SINGLE LINE DIAGRAM AND DISTRIBUTION SYSTEM SHALL BE A DEFERRED SUBMITTAL.2. NATURAL GAS SYSTEM PIPING DESIGN SHALL BE A DEFERRED SUBMITTAL.3. WATER SUPPLY PIPING SCHEMATIC DESIGN SHALL BE A DEFERRED SUBMITTAL.4. MECHANICAL DUCT LAYOUT AND SIZING SHALL BE A DEFERRED SUBMITTAL.5. A.C. / POOL EQUIPMENT / GENERATOR SPECIFICATION FOR NOISE ORDINANCE COMPLIANCE, SHALL BE A DEFERRED SUBMITTAL. <p>NOTE: TWO (2) COPIES OF EACH DEFERRED SUBMITTAL WILL BE FIRST SUBMITTED TO THE ARCHITECT / ENGINEER-OF-RECORD, WHO WILL REVIEW THEM AND FORWARD THEM TO THE BUILDING DEPARTMENT WITH NOTATIONS INDICATING THAT THE SUBMITTAL CONFORMS TO THE DESIGN OF THE BUILDING. THE ENGINEER(S) RESPONSIBLE FOR THE DESIGN OF THE DEFERRED SUBMITTAL ITEMS SHALL STAMP AND WET-SIGN THOSE DRAWINGS AND CALCULATIONS FOR WHICH HE/SHE IS RESPONSIBLE.</p>	
<h1>SCOPE OF WORK</h1>	
<p>NEW TWO STORY HOUSE WITH BASEMENT, LANDSCAPE WALLS AND SITE WORK INCLUDING POOL AND SPA STRUCTURE.</p>	

VICINITY MAP

STOCKBRIDGE AVE

FLETCHER DR

ALAMEDA DE LAS PULGAS

STEICK DR

MANDARIN WAY

MESA CT.

RIDGE VIEW DR.

ATHERTON AVE

ALTA VIST DR.

RIDGE VIEW DR.

MELANIE LN.

SITE

North Arrow

	ADDRESS	CONTACT	TELEPHONE
OWNER:	Byron and Allison Deeter 33 Emille Avenue Atherton, CA 94027	Byron Deeter Allison Deeter	(650) 853-7000
ARCHITECT:	ARCANUM ARCHITECTURE, INC. 239 Bryant Street, Suite 3c San Francisco, CA 94107 tim@arcanumarchitecture.com casey@arcanumarchitecture.com	Timothy Chappelle Casey Cramer	(415) 357-4400
LANDSCAPE ARCHITECT:	Studio Green 232 Sir Franck Drake Blvd. San Anselmo, CA 94960 john@studiogreen.com tyler@studiogreen.com	John Merten Tyler Van Pelt	(415) 721-0905
CIVIL ENGINEER:	BKF Engineers 255 Shoreline Drive, Suite 200 Redwood City, CA 94065 dleda@bkf.com	Dale Leda	(650) 482-6300
STRUCTURAL ENGINEER:	ZFA Structural Engineers 601 Montgomery Street, Suite 1450 San Francisco, CA 94111 jasong@zfa.com	Jason Powers	(415) 243-4091
MECHANICAL ENGINEER:	Monterey Engine Group 26465 Carmel Rancho Blvd., Suite 8 Carmel, CA 93923 dave@meg4.com	David Knight	(831) 372-8328
GEOTECH ENGINEER:	Murray Engineers 935 Fremont Avenue Los Altos, CA 94024 jason@murrayengineers.com	Jason Kong	(650) 559-9980
SURVEYOR:	Lex & Braze Engineering, Inc. 2495 Industrial Parkway West Hayward, CA 94545	Gregory Braze	(510) 887-4086
ARBORIST:	Urban Tree Management PO Box 971 Los Gatos, CA 95031 michael@urbantreemanagement.com	Michael P. Young	(650) 321-0202
CONTRACTOR:	Behrens-Curry Homes 585 Taylor Way, Unit I San Carlos, CA 94070 spencer@bci-homes.com jon@bci-homes.com	Spencer Curry Jon Behrens	(650) 631-2909
INTERIOR DESIGNER:	Jennifer Robin Interiors 15 Library Place San Anselmo, CA 94960	Jennifer Macdonald Chelsea Lund	(415) 578-2396

DEFERRED PERMITS

1. FIRE SPRINKLERS (SEPARATE SUBMITTAL TO MENLO PARK FIRE PROTECTION DISTRICT)
2. WATER EFFICIENT LANDSCAPE PLANS (SEPARATE PERMIT)
3. LANDSCAPE SCREENING PLANS (SEPARATE PERMIT)
4. GUEST HOUSE & DETACHED GARAGE SUBMITTED UNDER A SEPARATE PERMIT. THE GUEST HOUSE & DETACHED GARAGE CAN NOT BE FINALED UNTIL THE BUILDING PERMIT HAS BEEN ISSUED FOR THE MAIN HOUSE. IF THE MAIN HOUSE DOES NOT END UP BEING CONSTRUCTED, THE GUEST HOUSE & DETACHED GARAGE MUST BE REMOVED.
5. TRASH AND UTILITY/EQUIPMENT ENCLOSURES (SEPARATE PERMIT)
6. DETACHED GENERATOR (SEPARATE PERMIT)
7. MISCELLANEOUS LANDSCAPE STRUCTURES - OUTDOOR KITCHEN, SEAT WALLS, FIRE PIT, WATER FEATURES (SEPARATE PERMIT)
8. FENCES AND GATES ALONG STREET (SEPARATE PERMIT)
9. PHOTOVOLTAIC SYSTEM (SEPARATE PERMIT). INSTALLATION OF THE SYSTEM SHALL BE COMPLETED PRIOR TO FINAL INSPECTION.

		DRAWING INDEX	
A0.0	COVER SHEET	A5.1	EXTERIOR ELEVATIONS
S.U.1	TOPOGRAPHIC SURVEY	A5.2	EXTERIOR ELEVATIONS
S.U.2	PRE-DEMOLITION TOPOGRAPHIC SURVEY	A5.3	EXTERIOR ELEVATIONS / SECTIONS
CIVIL (SUBMITTED SEPARATELY)		A5.4	EXTERIOR ELEVATIONS / SECTIONS
C.O.0	TITLE SHEET	A5.5	EXTERIOR ELEVATIONS / SECTIONS
C.O.1	NOTES	A8.1	EXTERIOR DETAILS
C.I.1	EXISTING CONDITIONS	A8.2	EXTERIOR DETAILS
C.2.1	GRADING PLAN	A8.3	EXTERIOR DETAILS
C.3.1	UTILITY PLAN	A8.4	EXTERIOR DETAILS
C.4.1	EROSION CONTROL PLAN	A8.5	EXTERIOR DETAILS
C.4.2	BEST MANAGEMENT PRACTICES	A8.6	EXTERIOR DETAILS
C.4.3	CONSTRUCTION SITE MANAGEMENT PLAN	A8.7	EXTERIOR DETAILS
C.S.1	DETAIL SHEET	A8.8	EXTERIOR DETAILS
C.S.2	DETAIL SHEET	A9.1	INTERIOR DETAILS
ARCHITECTURAL		ARB-1	ARBORIST REPORT
A0.1.D	DOOR SCHEDULE	STRUCTURAL	
A0.1.W	WINDOW SCHEDULE	S0.1	GENERAL NOTES
A0.2	FINISH MATERIALS SPECIFICATIONS	S0.2	STRUCTURAL SPECIFICATIONS
A0.3	KEYNOTES	S1.1	TYPICAL CONCRETE DETAILS
A0.4	MISC. SCHEDULES	S1.2	TYPICAL STRUCTURAL FOUNDATION DETAILS
A0.5	PARTITION SCHEDULE AND NOTES, GENERAL AND BUILDING CODE NOTES	S1.3	TYPICAL WOOD DETAILS
A1.1	SITE PLAN / ROOF PLAN, NAT. GRADE CALCS.	S1.4	TYPICAL METAL DECKING DETAILS
A1.2	FLOOR AREA CALCS, VENTILATION CALCS. & CONSTRUCTION OPERATION PLAN	S1.5	STEEL FRAMING DETAILS
A2.0	BASEMENT FLOOR PLAN	S1.6	STEEL FRAMING DETAILS
A2.0-DIMS	BASEMENT FLOOR PLAN - DIMENSIONS	S2.1	BASEMENT FOUNDATION PLAN
A2.1-DIMS	GROUND FLOOR & PARTIAL UPPER GROUND FLOOR PLANS	S2.1.1	POOL AND TERRACE FOUNDATION PLAN
A2.1-DIMS	GROUND FLOOR & PARTIAL UPPER GROUND FLOOR PLANS - DIMENSIONS	S2.2	GROUND FLOOR FRAMING PLAN
A2.2	SECOND FLOOR PLAN	S2.3	SECOND FLR AND LOWER ROOF FRAMING PLAN
A2.2-DIMS	SECOND FLOOR PLAN - DIMENSIONS	S2.3.1	LOWER ROOF AND AWNING FRAMING PLAN
A2.3	BASEMENT POWER PLAN	S4.1	ROOF FRAMING PLAN
A2.4	GROUND FLOOR & PARTIAL UPPER GROUND FLOOR POWER PLANS	S4.1	FOUNDATION DETAILS
A2.5	SECOND FLOOR POWER PLAN	S4.2	PATIO DETAILS
A3.0	BASEMENT REFLECTED CEILING PLAN	S4.3	GRADE BEAM DETAILS
A3.1	GROUND FLOOR & PARTIAL UPPER GROUND FLOOR REFLECTED CEILING PLANS	S4.4	GROUND FLOOR DETAILS
A3.2	SECOND FLOOR REFLECTED CEILING PLAN	S4.5	POOL SECTIONS
A4.1	INTERIOR ELEVATIONS - BASEMENT	S5.1	STEEL DETAILS
A4.2	INTERIOR ELEVATIONS - BASEMENT	S5.2	STEEL PLATE SHEAR WALL DETAILS
A4.3	INTERIOR ELEVATIONS - BASEMENT	S5.3	STEEL DETAILS
A4.4	INTERIOR ELEVATIONS - BASEMENT	S6.1	FRAMING DETAILS
A4.5	INTERIOR ELEVATIONS - BASEMENT	MECHANICAL	
A4.6	INTERIOR ELEVATIONS - GROUND FLOOR	T-1	ENERGY COMPLIANCE
A4.7	INTERIOR ELEVATIONS - GROUND FLOOR	T-2	2016 LOW-RISE RESIDENTIAL MANDATORY MEASURES SUMMARY & ENERGY COMPLIANCE
A4.8	INTERIOR ELEVATIONS - GROUND FLOOR		
A4.9	INTERIOR ELEVATIONS - GROUND FLOOR		
A4.10	INTERIOR ELEVATIONS - GROUND FLOOR		
A4.11	INTERIOR ELEVATIONS - SECOND FLOOR		
A4.12	INTERIOR ELEVATIONS - SECOND FLOOR		
A4.13	INTERIOR ELEVATIONS - SECOND FLOOR		
A4.14	INTERIOR ELEVATIONS - SECOND FLOOR		
		LANDSCAPE (SUBMITTED SEPARATELY)	
		L10.00	COVER SHEET AND NOTES
		L11.00	MATERIALS AND CALLOUTS PLAN
		L12.00	LAYOUT PLAN
		L13.00	PLANTING PLAN
		L13.01	PLANTING NOTES
		L14.00	LIGHTING AND SPEAKER LAYOUT
		L15.0	IRRIGATION PLAN
		L15.01	IRRIGATION LEGEND
		L15.02	IRRIGATION DETAILS
		L15.03	DRIP DETAILS
		L15.04	DRIP DETAILS
		L15.05	IRRIGATION NOTES
		L15.06	IRRIGATION NOTES
		L15.07	IRRIGATION CALCULATIONS
		L16.00	DETAILS
		L16.01	DETAILS
		L16.02	DETAILS
		L16.03	DETAILS
		L16.04	DETAILS
		L16.05	DETAILS
		L16.06	DETAILS
		L16.07	DETAILS
		L16.08	DETAILS
		L16.09	DETAILS
		L16.10	DETAILS

SETBACK AND HEIGHT VERIFICATION	
PROJECT SURVEYOR IS REQUIRED TO PROVIDE THE FOLLOWING:	
1.	LETTER VERIFYING THE STRUCTURE IS LOCATED AS APPROVED ON THE PLANS FOR SETBACKS PRIOR TO POURING ANY CONCRETE.
2.	LETTER VERIFYING THE HEIGHT OF THE STRUCTURE IS AS SHOWN ON THE PLANS AT FRAME INSPECTION.

ABBREVIATIONS															
<	Angle	COND.	Condition	F.E.C.	Fire Extinguisher Cabinet	H.R.	Handrail	NOM.	Nominal	R.O.	Rough Opening	T.M.E.	To Match Existing		
@	At	CONN.	Connection	F.H.W.S.	Flat Head Machine Screw	H.W.H.	Hot Water Heater	N.T.S.	Not to Scale	RWD.	Redwood	T.O.C.	Top of Concrete		
0	Diameter or 0	CONT.	Continuous	F.H.W.S.	Flat Head Wood Screw							T.O.P.	Top of Plate		
#	Pound or Number	CONTR.	Contractor	FIN.	Finish	I.D.	Inside Diameter	O.A.	Overall	S.	South	T.O. PLY	Top of Plywood		
		CLOS.	Closet	FLX.	Flexure	Inch	Inch	O.C.	On Center	S.C.	Solid Core	T.O.W.	Top of Wall		
A.C.	Air Conditioning or Asphalt	C.T.	Ceramic Tile	FLR.	Floor	INSUL.	Insulation	O.D.	Outside Diameter (Dim)	S.C.D.	See Civil Drawings	TYP.	Typical		
	Concrete	CTR.	Center	FLASH.	Flashing	INT.	Interior	OPNG.	Opening	S.D.	Storm Drain				
	Concrete	C.W.	Cold Water	FLUOR.	Fluorescent	INTER.	Intermediate	OPP.	Opposite	SECT.	Section	U.B.C.	Uniform Building Code		
ACOUS.	Acoustical			F.O.C.	Face of Concrete	JAN.	Junior	PERIM.	Perimeter	S.E.D.	See Electrical Drawings	UNEXC.	Unexcavated		
A.D.	Area Drain	ADJ.	Adjustable	F.O.F.	Face of Finish	J.O.I.	Joist	SEP.	Separation	S.H.	Sprinkler Head	UNE.	Unfinished		
ADJAC.	Adjacent	DET.	Detail	F.O. Ply	Face of Plywood	J.T.	Joint	S.H.R.	Shrink	U.O.N.	Unless Otherwise Noted				
AGGR.	Aggregate	D.F.	Drinking Fountain	F.O.S.	Face of Stud			P.I.A.M.	Plastic Laminate						
ALT.	Alternate	DIA.	Diameter	F.P.R.F.	Fireproof			PLAS.	Plaster	SH.	Sheet	VAR.	Varies		
ALUM.	Aluminum	DISP.	Dispenser	FR.	Frame	KIT.	Kitchen	PAN.	Panel	SH.T.	Sheathing	V.C.T.	Vinyl Composition Tile		
APPROX.	Approximate	DN.	Down	FTG.	Footing	LAM.	Laminate	PNT.	Paint	SIM.	Similar	VEN.	Veneer		
ARCH.	Architectural	D.R.	Door	FURR.	Furring	LAV.	Lavatory	P.S.I.	Per Square Inch	SL.	Sliding	VERT.	Vertical		
ASPH.	Asphalt	D.W.	Dishwasher	FUT.	Future	LB.	Pound	P.T.	Point	S.K.D.	See Kitchen Drawings	VEST.	Vestibule		
		DWR.	Drawer			LN.	Linear	P.T.	Pressure Treated Post	S.L.D.	See Landscape Drawings	V.G.D.F.	Vertical Grain Douglas Fir		
BD.	Board			G.	Gas Outlet	LT.	Line	P.T.	Tested	S.S.D.	See Mechanical Drawings	V.I.F.	Yerdy in Finish		
BITUM.	Bituminous	EA.	Ea	GA.	Gauge	LN.	Line	PTD.	Painted	S.P.D.	See Plumbing Drawings	VOL.	Volume		
BLDG.	Building	(E)	Each	GA.LV.	Galvanized	LT.	Light	P.T.D.	Paper Towel Dispenser	SPEC.	Specification or Special	W.	West		
BLK.	Block	E.I.F.S.	Existing Exterior Insulation & Finish	G.D.	Garbage Disposal	MACH.	Machine	PTN.	Partition	S.S.	Stainless Steel	W/	With		
BLKG.	Blocking	BM	Beam	GEN.	General	MAINT.	Maintain	P.T.A.	Paper Towel Receptacle	S.S.K.	See Structural Drawing	W.C.	Wall Covering		
B.O.	Bottom of	EJ.	Expansion Joint	G.F.I.	Ground Fault Interrupt	MAT.	Material	Q.T.	Quarry Tile	S.T.D.	Standard	W/H	Water Heater		
BOT	Bottom	EL	Elevation	GL.	Glass	MAX.	Maximum			STL.	Steel	W/O	Without		
B.P.	Building Paper	ELEC.	Electrical	GND.	Ground	H.B.	Hose Bibb	R.	Riser	STOR.	Storage	W.P.	Work Point or		
BTWN.	Between	EMER.	Emergency	GR.	Grade	H.C.	Hollow Core or Handicapped	R.A.	Return Air	STR.	Structural	W.P.	Waterproofing		
		ENCL.	Enclosure	G.S.M.	Galvanized Sheet Metal	M.C.	Medicine Cabinet	RAD.	Radius	S.V.	Sheet Vinyl	W.P.M.	Waterproof Membrane		
		E.P.B.	Electrical Panel Board	GYP.	Gypsum	M.D.O.	Medium Density Overlay	REC.	Recessed	S.W.	Shear Wall	WSCOT.	Wainscot		
C.B.	Catch Basin	EQ.	Equal	H.B.	Hose Bibb	MEMB.	Membrane	REF.	Reference	S.Y.M.	Symmetrical	W.S.P.	Wet Standpipe		
CEM.	Cement	EXIST.	Existing	H.C.	Hollow Core or Handicapped	MTL.	Metal	REFR.	Reflected	S.Y.	System	WT.	Weight		
CER.	Ceramic	EXP.	Expansion	HDB.	Hardboard	MNC.	Minimum	REFR.	Refrigerator	T.	Tread	WR.	Water Resistant		
CLG.	Ceiling	EXT.	Exterior	HDR.	Header	MIS.	Miscellaneous	REG.	Register	T.B.	Towel Bar	WW.	Welded Wire		
CLKG.	Caulking	EXP.	Expansion	HDR.	Header	MTD.	Mounted	REINF.	Reinforced	T.C.	Top of Curb				
CLR.	Clear	EXT.	Exterior	HDW.	Hardware	MUL.	Mullion	REQ.	Required	TEL.	Telephone				
		C.M.U.	Concrete Masonry Unit	HGR.	Hanger			RESIL.	Resilient	TEMP.	Tempered				
CNTR.	Counter	F.A.	Fire Alarm	HGT.	Height	(N)	New	RET.	Retaining	T.&G.	Tongue & Groove				
C.O.	Clean-Out	F.A.U.	Forced Air Unit	H.M.	Hollow Metal	N.	North	REV.	Revision/Revised/Reverse						

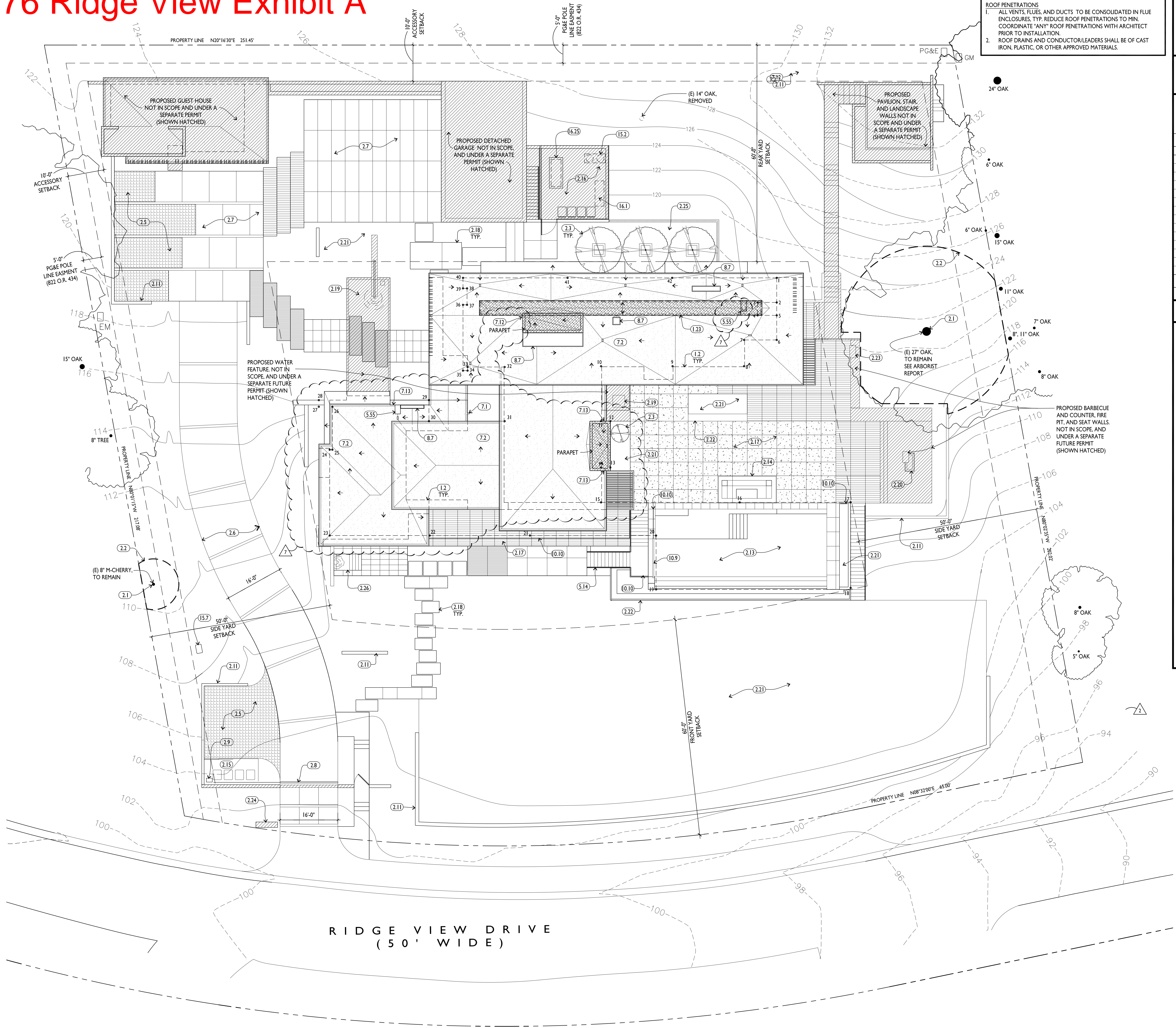
DEETER RESIDENCE
76 RIDGE VIEW DRIVE
ATHERTON, CA
APN: 073-181-450

DATE	ISSUE
9.21.18	PERMIT SET
11.16.18	△ PLAN CHECK
3.22.19	△ REVISION
4.26.19	△ PLAN CHECK
5.20.19	△ COORDINATION
10.4.19	△ REVISIONS
12.20.19	△ PLAN CHECK
4.10.20	△ VALUE ENGINEERING

COVER SHEET

A0.0

76 Ridge View Exhibit A



ROOF PENETRATIONS
1. ALL VENTS, FLUES, AND DUCTS TO BE CONSOLIDATED IN FLUE ENCLOSURES. TYP. REDUCE ROOF PENETRATIONS TO MIN. COORDINATE "ANY" ROOF PENETRATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
2. ROOF DRAINS AND CONDUCTOR/LEADERS SHALL BE OF CAST IRON, PLASTIC, OR OTHER APPROVED MATERIALS.

LEGEND

2.1 KEYNOTE, SEE A0.3

AREA NOT IN SCOPE AND TO BE SUBMITTED UNDER A SEPARATE, FUTURE PERMIT

"TOWER" ELEMENT PROJECTION ABOVE ROOF PLANE < 400 S.F. TOTAL

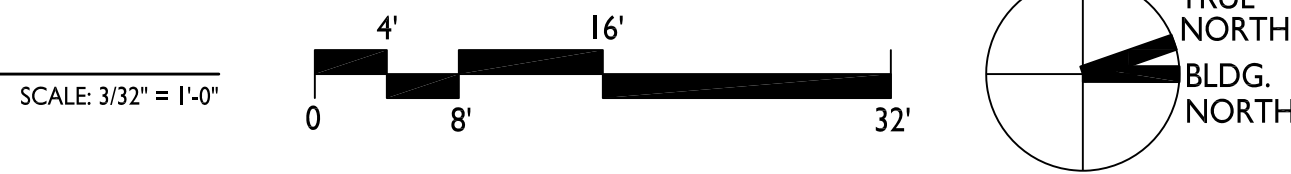
NATURAL AVERAGE GRADE CALCULATIONS

NOTE: PRE-DEMOLITION TOPOGRAPHIC SURVEY SU2 IS USED AS THE REFERENCE FOR THE CALCULATION OF AVERAGE NATURAL GRADE POINTS.

MAIN HOUSE:						
POINT:	ELEVATION:	POINT:	ELEVATION:	POINT:	ELEVATION:	
1	124.95	15	118.24	29	117.36	
2	122.95	16	118.03	30	118.36	
3	121.96	17	110.70	31	118.66	
4	120.60	18	106.50	32	117.95	
5	121.70	19	112.31	33	117.87	
6	118.60	20	112.31	34	117.87	
7	118.60	21	113.54	35	117.87	
8	115.95	22	110.80	36	120.73	
9	119.75	23	110.80	37	120.73	
10	117.90	24	114.80	38	120.39	
11	118.35	25	114.80	39	120.39	
12	118.32	26	117.30	40	120.95	
13	118.24	27	117.30	41	121.41	
14	118.24	28	117.50	42	122.00	
					TOTAL:	4,943.58
					AVG. GRADE:	117.70

- SITE PLAN NOTES**
- PER SECTION 17.54.030 (C), CERTIFICATION BY THE APPLICANT'S CIVIL ENGINEER (OR LICENSED LAND SURVEYOR) SHALL BE SUBMITTED AT THE TIME OF THE ROOF FRAMING INSPECTION, THE HEIGHT OF THE BUILDING DOES NOT EXCEED THE ALLOWABLE HEIGHT AS SPECIFIED IN THE ORDINANCE. THAT CERTIFICATION SHALL BE ACCOMPANIED BY SURVEY NOTES OR OTHER SIMILAR DATA TO PERMIT VERIFICATION OF THE CALCULATIONS BY A THIRD PARTY. ADDITIONALLY, A "NONREMOVABLE BENCHMARK ELEVATION MARKER" SHALL BE PLACED ON THE SITE AND NOTED ON ALL PLANS SUBMITTED.
 - THE SETBACK LINES SHALL BE STAKED AT THE SAME TIME AS FOUNDATION STAKING SO THAT THE FIELD INSPECTOR CAN VISUALLY VERIFY THAT THE BUILDING IS BEING CONSTRUCTED WITHIN THE SETBACK LINES.
 - IT IS UNLAWFUL FOR ANY PERSON TO DAMAGE OR HARM A HERITAGE TREE BY ANY MEANS WHATSOEVER, INCLUDING, WITHOUT LIMITATION, VEHICLES, MACHINERY, OR BUILDING SUPPLIES OR MATERIAL (INCLUDING FLUIDS) DURING ANY CONSTRUCTION OR RENOVATION OF STRUCTURES ON THE PARCEL. ALL LIGHTING ON ACCESSORY BUILDINGS AND STRUCTURES THAT ARE LOCATED OUTSIDE OF THE MAIN 4. BUILDING AREA SHALL BE SHIELDED OR DOWNLIT AND SHALL NOT SHINE ONTO ADJOINING PROPERTIES.
 - MAXIMUM ROOF EAVE MAY ENCR OACH INTO ANY YARD NOT TO EXCEED A MAXIMUM OF ONE FOOT FOR ACCESSORY STRUCTURES AND FOUR FEET FOR MAIN STRUCTURE PER TOWN ZONING ORDINANCE.
 - ALL FENCES AND WALLS SHALL BE CONSTRUCTED IN COMPLIANCE WITH CHAPTER 17.46 OF THE TOWN ZONING ORDINANCE.
 - TEMPORARY HABITATION OF AN ACCESSORY BUILDING OR STRUCTURE IS PERMITTED FOR A PERIOD OF NO MORE THAN THIRTY (30) DAYS IN ANY CALENDAR YEAR (CONSECUTIVE OR INTERMITTENT). TEMPORARY HABITATION OF AN ACCESSORY BUILDING FOR MORE THAN THIRTY (30) DAYS MAY BE PERMITTED UPON ISSUANCE OF A CONDITIONAL USE PERMIT WHEN THE MAIN BUILDING IS VACANT FOR REMODELING OR OTHER SIMILAR PURPOSES.
 - POOL EQUIPMENT OPERATION: NO PUMPING, FILTER, OR SIMILAR EQUIPMENT SHALL BE OPERATED BETWEEN THE HOURS OF EIGHT P.M. AND EIGHT A.M. AND ALL PERMITS FOR THE ERECTION OF PUMPING, FILTER, OR OTHER SIMILAR EQUIPMENT SHALL INCLUDE THE INSTALLATION OF AN AUTOMATIC TIMING DEVICE ADJUSTED TO ENSURE SUCH HOURS OF OPERATION. (A.M.C. 17.40.050(f))
CONDITION OF APPROVAL: EQUIPMENT SHALL BE INSTALLED AND MAINTAINED SO AS NOT EXCEED 50 DBA AS MEASURED AT THE PROPERTY LINE. (A.M.C. 8.16)
 - THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE NOT LESS THAN 5% FOR THE FIRST 10 FEET MEASURED PERPENDICULAR TO FACE OF WALL. IMPERVIOUS SURFACES SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM BUILDING. (CRC R401.3)

1 SITE PLAN



ARCANUM

arcanum architecture, inc.
322 Ridge View Drive
Atherton, CA 94027
Tel: 650.947.4400
Fax: 650.947.4401
arcanumarchitecture.com

REGISTERED ARCHITECT
STATE OF CALIFORNIA
No. 034008
Exp. 12/31/2018

PROJECT NO. 17003

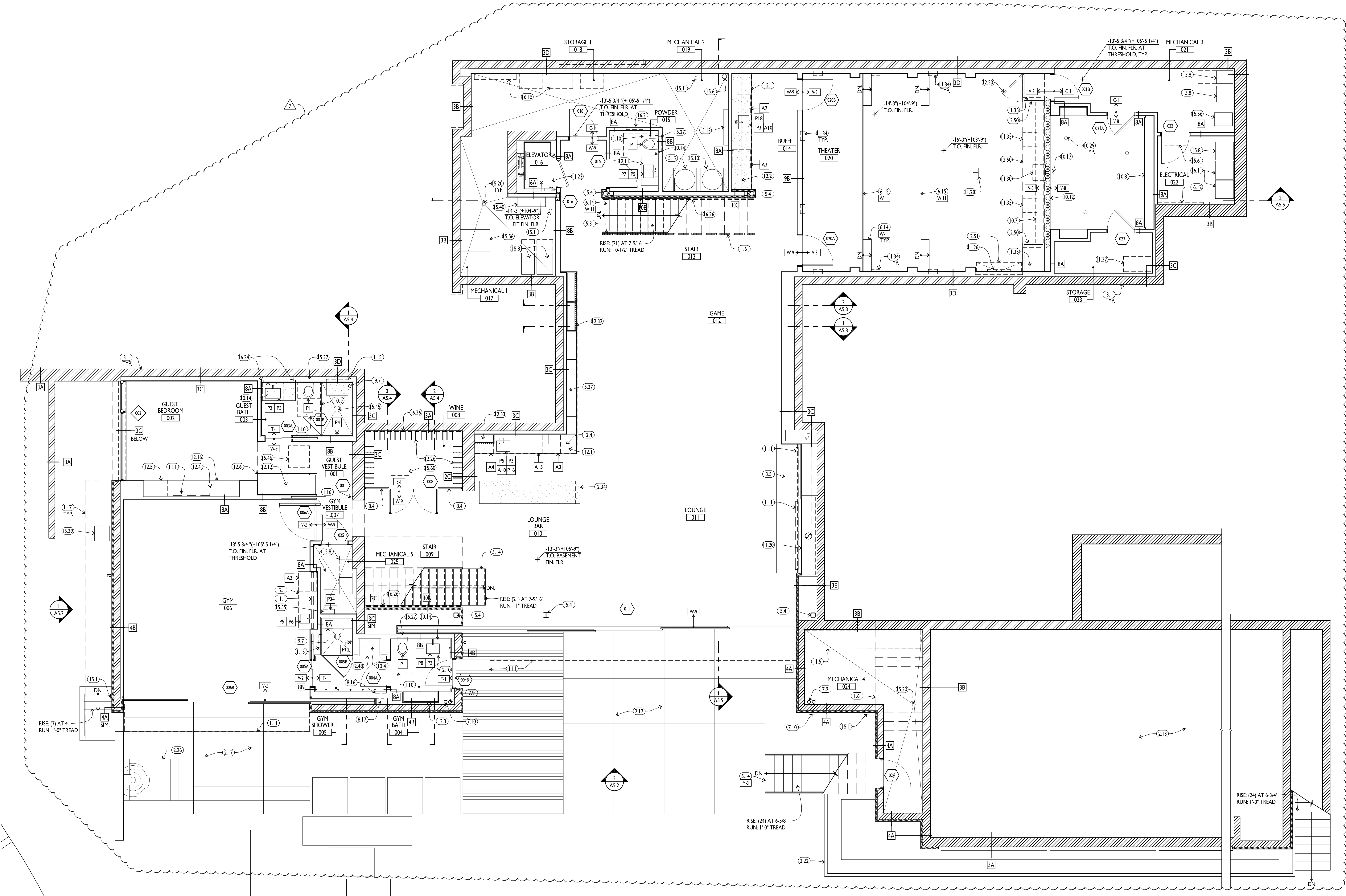
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4.10.20	VALUE ENGINEERING

SITE PLAN / ROOF
PLAN, NAT. GRADE
CALCS.

AI.I

76 Ridge View Exhibit A

FLOOR PLAN LEGEND					
	WOOD FRAMING, S.S.D.		STEEL PLATE SHEAR WALL, S.S.D.		KEYNOTE, SEE A0.3
	CONCRETE WALL, S.S.D.		APPLIANCES, SEE A0.4		FINISH NOTE, SEE A0.2
	CONCRETE WALL W/ STONE VENEER, S.S.D.		PLUMBING FIXTURES, SEE A0.4		TOE KICK SUPPLY DIFFUSER
			TOE KICK RETURN AIR DIFFUSER		FLOOR SUPPLY DIFFUSER
			WALL MOUNTED RETURN AIR DIFFUSER		WALL MOUNTED SUPPLY DIFFUSER
SEE A0.5 FOR GENERAL FLOOR PLAN NOTES, FLOOR PLAN BUILDING CODE NOTES, AND GREEN BUILDING CODE NOTES.					
BASEMENT NOTE: ALL SLAB, WALL PLUMBING/CONDUIT/ETC. IN BASEMENT TO BE CONCEALED WITHIN CONCRETE OF FOUNDATION WITHOUT ANY PENETRATIONS IN OUTER LAYER OF WATERPROOFING.					



BASEMENT FLOOR PLAN



DEETER RESIDENCE
76 RIDGE VIEW DRIVE
ATHERTON, CA
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BASEMENT FLOOR
PLAN

1/4" = 1'-0"

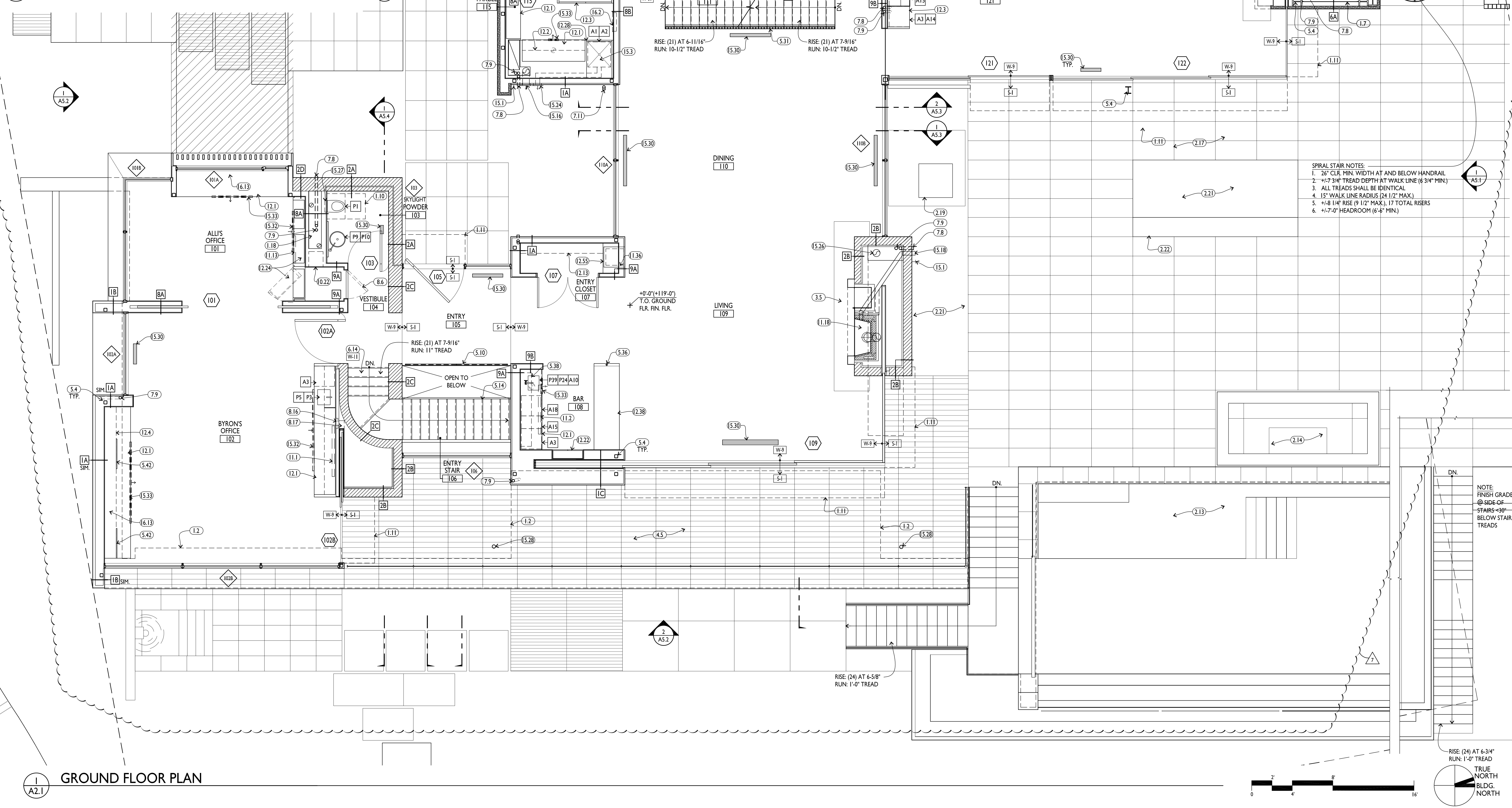
A2.0

76 Ridge View Exhibit A

FLOOR PLAN LEGEND					
WOOD FRAMING, S.S.D.	STEEL PLATE SHEAR WALL, S.S.D.	21	KEYNOTE, SEE A0.3	1A	PARTITION TYPE, SEE A0.5
CONCRETE WALL, S.S.D.	A1	C1	FINISH NOTE, SEE A0.2		FLOOR SUPPLY DIFFUSER
CONCRETE WALL W/ STONE VENEER, S.S.D.	P1		TOE KICK SUPPLY DIFFUSER		WALL MOUNTED RETURN AIR DIFFUSER
			TOE KICK RETURN AIR DIFFUSER		WALL MOUNTED SUPPLY DIFFUSER

SEE A0.5 FOR GENERAL FLOOR PLAN NOTES, FLOOR PLAN BUILDING CODE NOTES, AND GREEN BUILDING CODE NOTES.

2
A2.1
PARTIAL UPPER GROUND FLOOR PLAN
@ ENTRY 105 / ENTRY STAIR 106



DEETER RESIDENCE
76 RIDGE VIEW DRIVE
ATHERTON, CA
APN: 073-181-450

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12.20.19	PLAN CHECK
4.10.20	VALUE ENGINEERING

GROUND FLOOR &
PARTIAL UPPER
GROUND FLOOR
PLANS

1/4" = 1'-0"

A2.1

76 Ridge View Exhibit A

FLOOR PLAN LEGEND

WOOD FRAMING, S.S.D.

CONCRETE WALL, S.S.D.

CONCRETE WALL W/ STONE VENEER, S.S.D.

STEEL PLATE SHEAR WALL, S.S.D.

APPLIANCES, SEE A0.4

PLUMBING FIXTURES, SEE A0.4

KEYNOTE, SEE A0.3

FINISH NOTE, SEE A0.2

TOE KICK SUPPLY DIFFUSER

TOE KICK RETURN AIR DIFFUSER

PARTITION TYPE, SEE A0.5

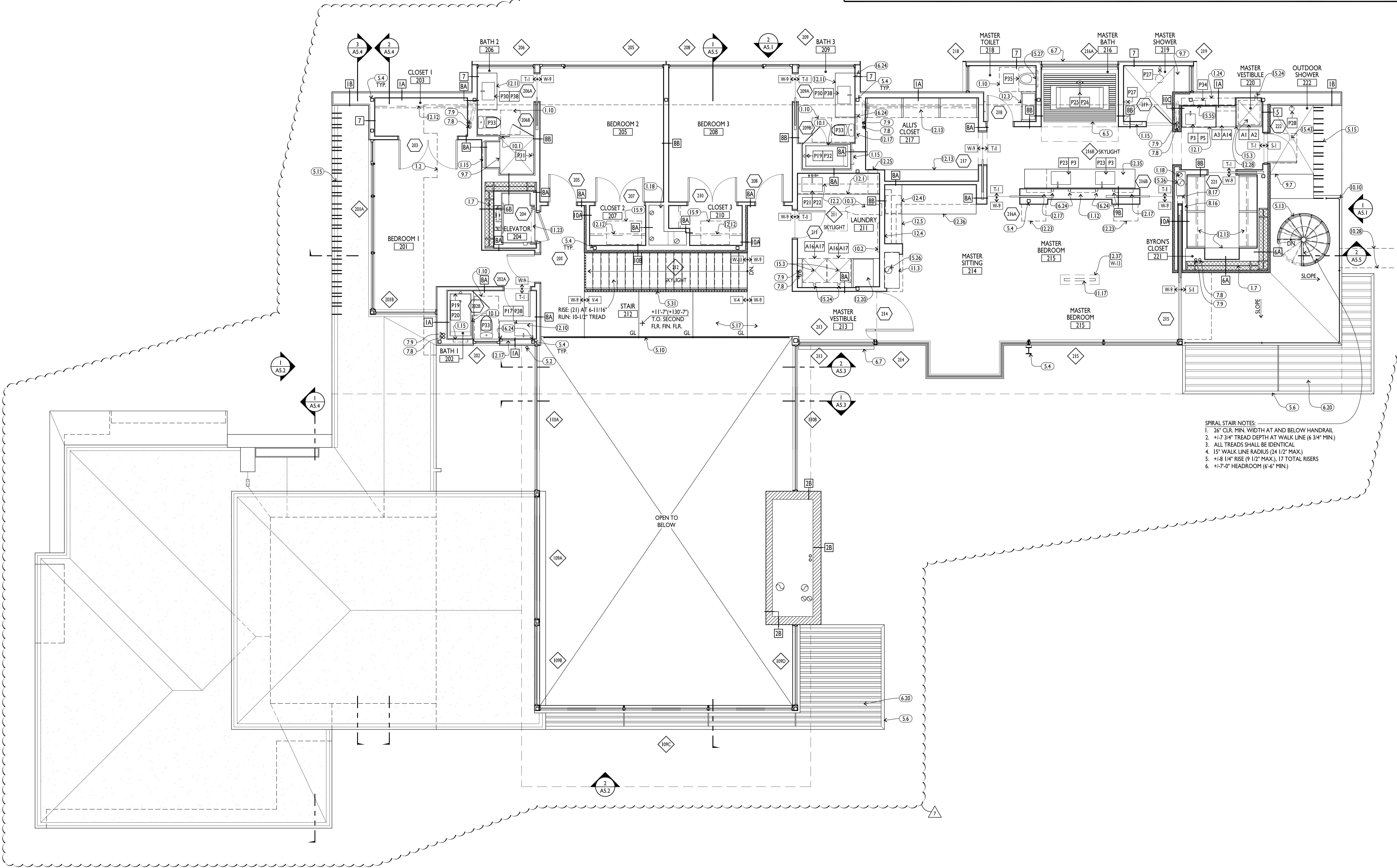
FLOOR SUPPLY DIFFUSER

WALL MOUNTED RETURN AIR DIFFUSER

WALL MOUNTED SUPPLY DIFFUSER

AREA NOT IN SCOPE AND SUBMITTED UNDER A SEPARATE PERMIT

SEE A0.5 FOR GENERAL FLOOR PLAN NOTES, FLOOR PLAN BUILDING CODE NOTES, AND GREEN BUILDING CODE NOTES.



SPIRAL STAIR NOTES:
1. 26" CLR. MIN. WIDTH AT AND BELOW HANDRAIL
2. +/- 3/4" TREAD DEPTH AT WALK LINE (6 3/4" MIN.)
3. ALL TREADS SHALL BE IDENTICAL
4. 15" WALK LINE RADIUS (24 1/2" MAX.)
5. +/- 8 1/4" RISE (9 1/2" MAX.), 17 TOTAL RISERS
6. +/- 7'-0" HEADROOM (6'-6" MIN.)

1 A2.2 SECOND FLOOR PLAN



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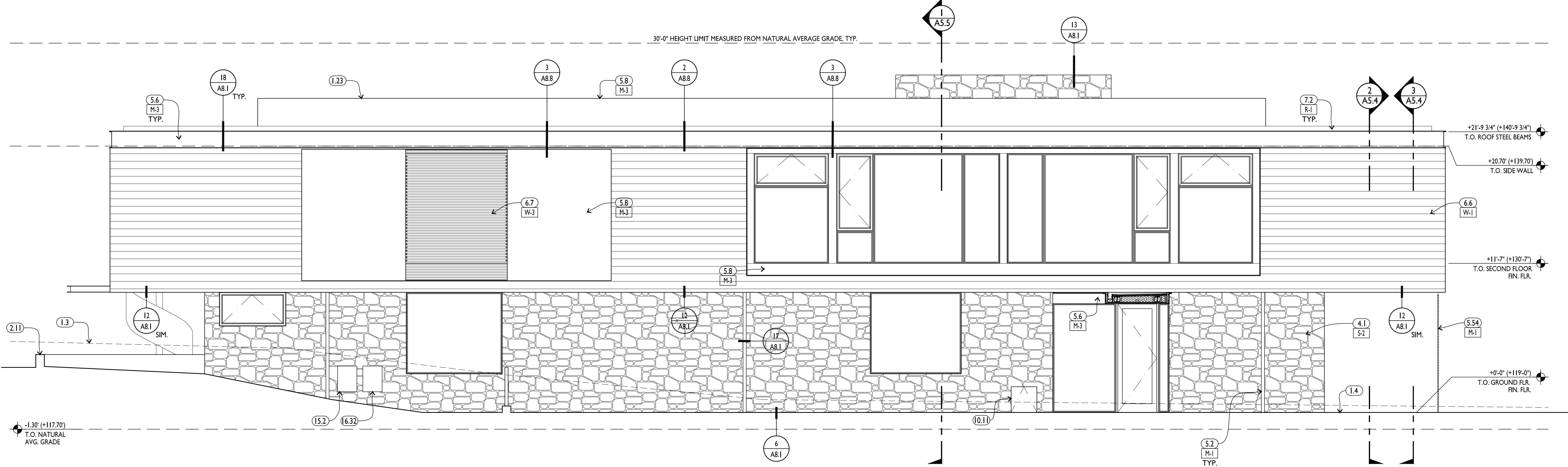
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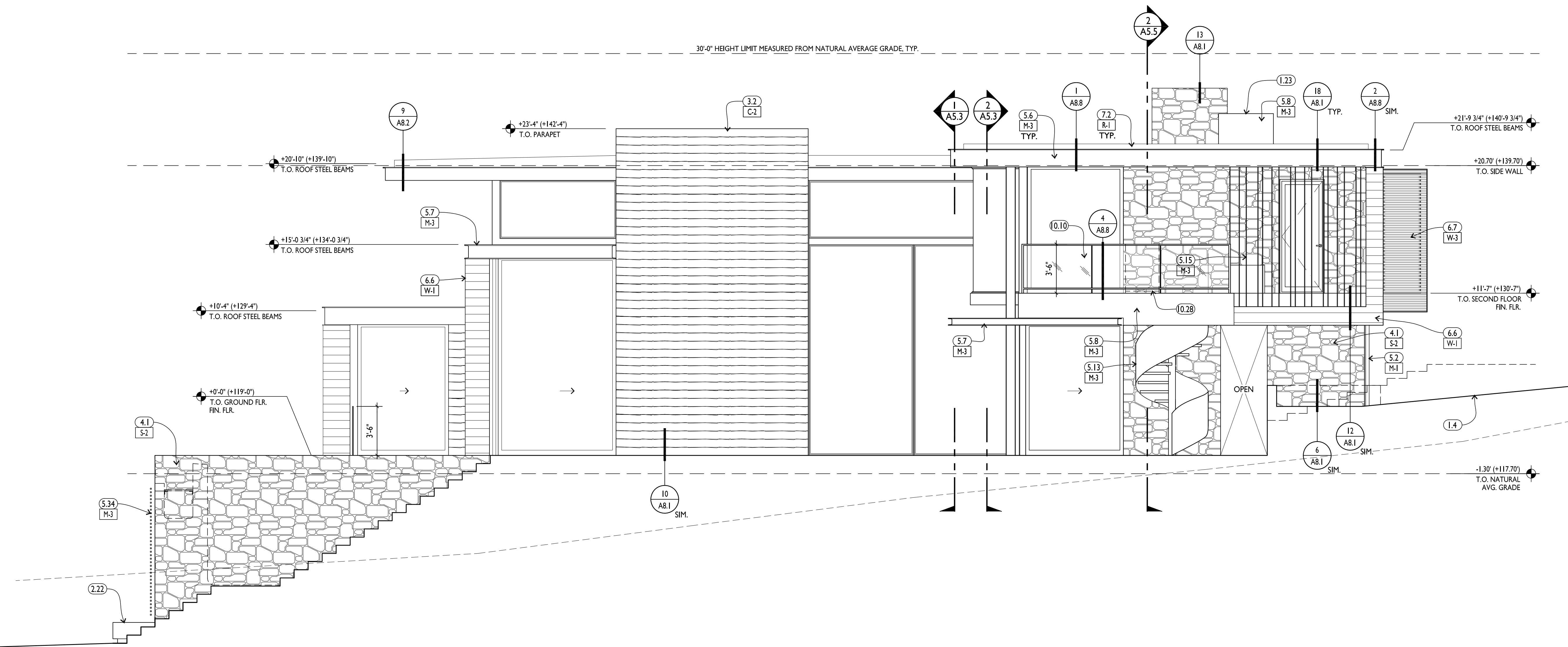
SECOND FLOOR PLAN

1/4" = 1'-0"
A2.2

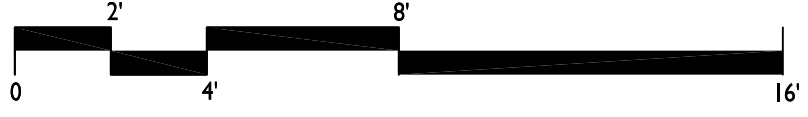
76 Ridge View Exhibit A



2 WEST ELEVATION
A5.1



1 NORTH ELEVATION
A5.1



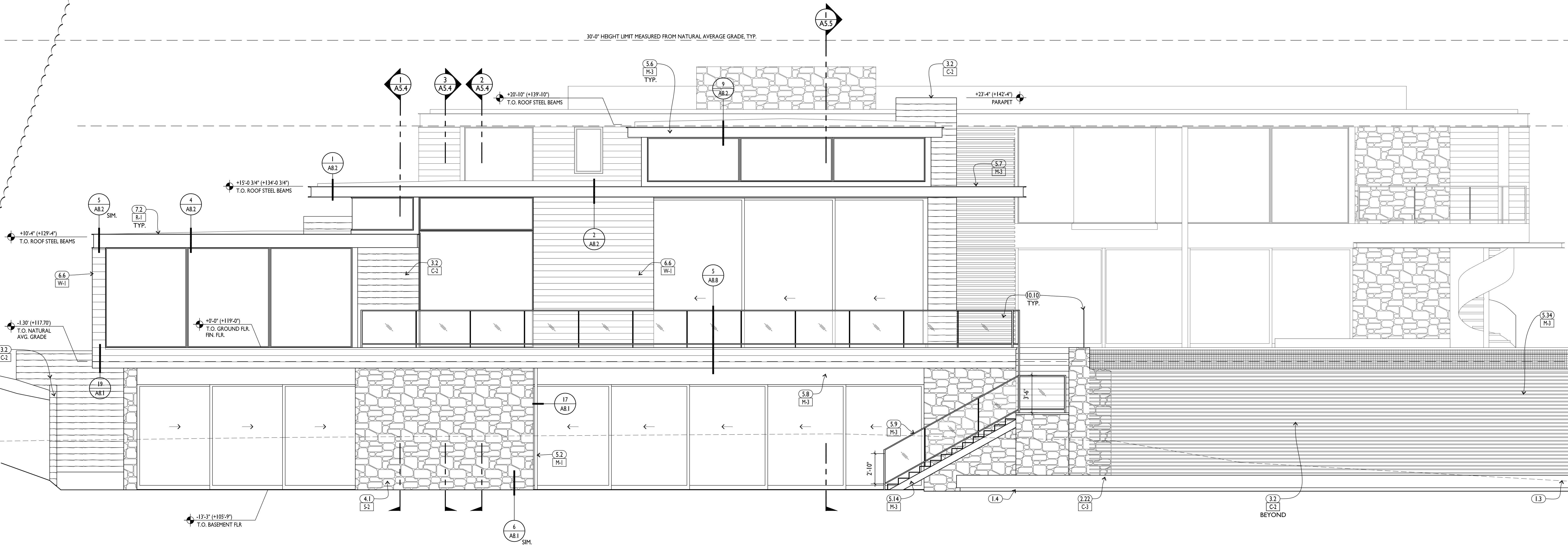
DEETER RESIDENCE
76 RIDGE VIEW DRIVE
ATHERTON, CA
APN: 073-181-450

PROJECT NO.	17003
DATE	ISSUE
9.21.18	PERMIT SET
11.16.18	PLAN CHECK
3.22.19	REVISION
4.10.20	VALUE ENGINEERING

EXTERIOR
ELEVATIONS

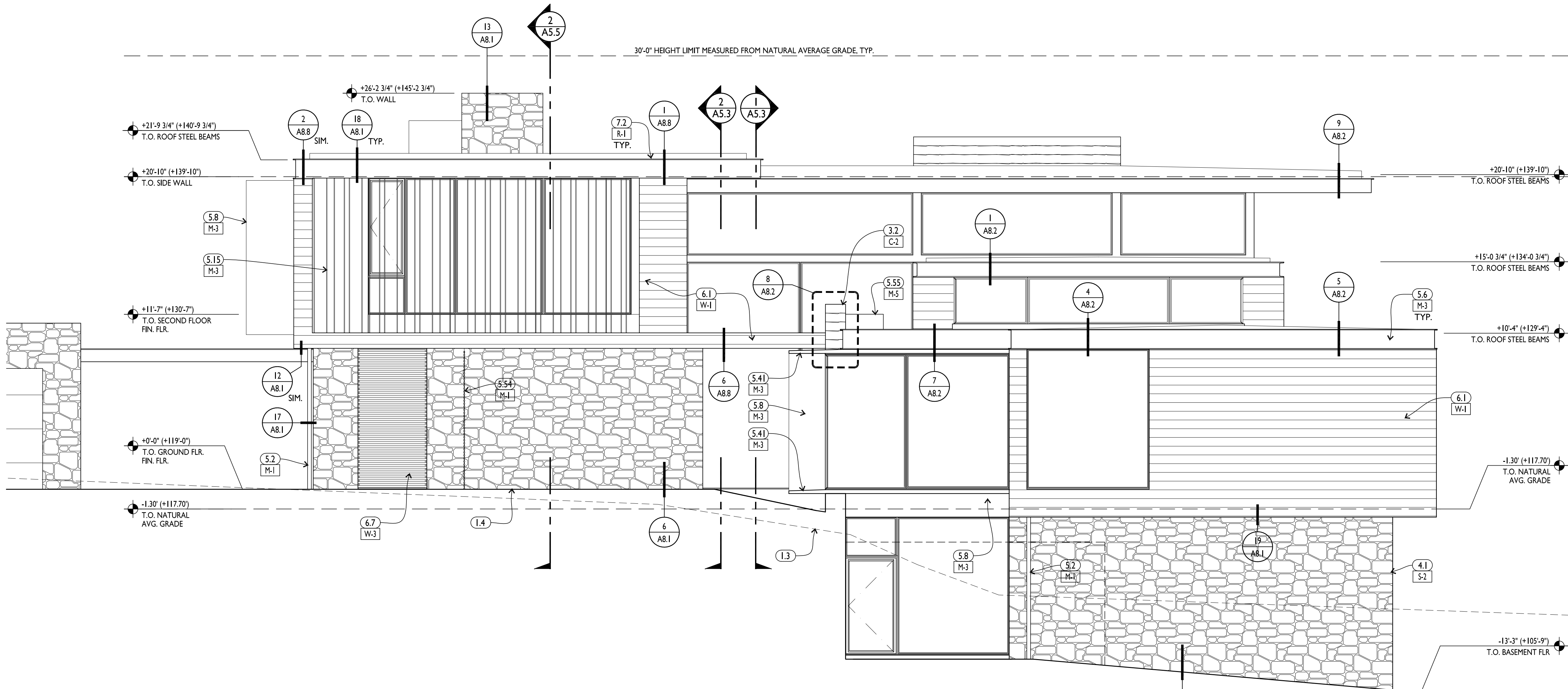
1/4" = 1'-0"
A5.1

76 Ridge View Exhibit A



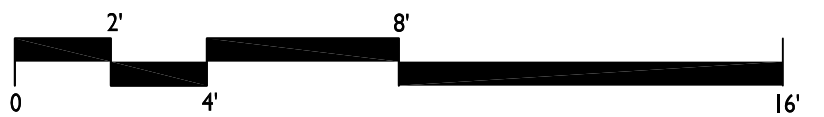
EAST ELEVATION

2
A5.2



SOUTH ELEVATION

1
A5.2



From: spencer@bci-homes.com
To: [Samantha Brown](#); john@bci-homes.com
Subject: Fwd: 76 Ridgeview Drive
Date: Thursday, October 8, 2020 8:48:20 PM

For our records and schedule delay defense

Spencer Curry

BEHRENS-CURRY HOMES

w. [650.631.2909](tel:650.631.2909)

c. [650.315.4748](tel:650.315.4748)

f. [650.631.3926](tel:650.631.3926)

spencer@bci-homes.com

www.bci-homes.com

Begin forwarded message:

From: "tylerw@argowin.com" <tylerw@argowin.com>
Date: October 8, 2020 at 4:30:30 PM PDT
To: "spencer@bci-homes.com" <spencer@bci-homes.com>
Subject: 76 Ridgeview Drive

Spencer,

I think we made a lot of headway today. Again, I apologize for the continued delays. The manufacturing plant was shut down for a couple of weeks due to a Covid issue which put them seriously behind on fabrication. In addition to that, they are still not running at 100% capacity as they are unable to have as many people on the factory floor as they were pre Covid.

A further issue is the glass supplier. They are behind the 8 ball as well again due to the pandemic. I know this all sounds like load of shit but this is the reality. We have worked together for many years and you know I'm a straight shooter. This industry is normally plagued with supply chain issues, manpower problems, you name it. But this Covid thing has really screwed things up.

The latest info I have from the factory is that the Basement units are coming the week of October 19th. They sent a few pieces this week but there are not enough parts to put a complete unit together.

I'll have them delivered to you the morning after they show up. I'll keep on them.

Thanks

Logo



Tyler Whittaker

Director of Operations

cell: 408-639-4585

1901 S Bascom Ave, Campbell CA 95008

argowin.com | [Virtual Tour](#) | [Line Card](#)



Distributing Quality Products For Over 40 Years In The Bay Area

From: tylerw@argowin.com
To: spencer@bci-homes.com
Cc: john@bci-homes.com; [Samantha Brown](#); [Casey Cramer](#); [Shannon Deimling](#); [Bob Andre](#); [Kanayo Ejemba](#); [Eric Brooner](#); [Kirstin Joyce](#)
Subject: Re: Deeter Phase 2 --DELIVERY DELAY
Date: Monday, May 24, 2021 10:36:59 AM

Spencer,

I left you a vm a little bit ago. As everyone is aware the direct-to-jobsite Western truck did not ship out as confirmed last week. I found out this morning as I was reaching out to Western to locate the truck and its eta. Apparently, Western Shipping Dept notified someone else at Western on Sunday that the truck wasn't shipping out.

Additionally, the 53 ft trailer did arrive at our warehouse this morning for Phase II but not all of the units that were to ship to our warehouse are on that trailer. I've been on the phone all morning trying to sort this out. We are still not 100% sure exactly what units are on that truck. When the truck is unloaded we will know.

I spoke to Bob Andre a bit ago as well. We have confirmed that we will bring out whatever units that are currently being unloaded at our warehouse first thing tomorrow morning.

Western has contacted me and said that the following units have been B/O and should be shipping out from Arizona on Thursday 5/27. Units 1, 4, 6, 7, 10, 12, 12, 15. Units 6 (entry Stairs 106) and 7 (living room door 109) will be on the lowboy direct shipped to jobsite. Again, we will verify the B/O as soon as our receiving has unloaded the trailer.

I am waiting to confirm with them what the 5/27 date means as far as what day we will be seeing the product onsite. Monday 31st is a holiday so they are getting back to me on that.

I will keep everyone posted. I apologize for the continued delays.

Tyler

Logo



Tyler Whittaker

Director of Operations

cell: 408-639-4585

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Distributing Quality Products For Over 40 Years In The Bay Area

-----Original Message-----

From: "spencer@bci-homes.com" <spencer@bci-homes.com>

Sent: Friday, May 21, 2021 11:33am

To: "tylerw@argowin.com" <tylerw@argowin.com>

Cc: "john@bci-homes.com" <john@bci-homes.com>, "Samantha Brown" <samantha@bci-homes.com>, "Casey Cramer" <casey@arcanumarchitecture.com>, "Shannon Deimling" <shannond@argowin.com>, "Bob Andre" <b.andre@comcast.net>, "Kanayo Ejemba" <kanayo@argowin.com>, "Eric Brooner" <ericb@argowin.com>

Subject: Re: Deeter Phase 2 --DELIVERY DELAY

Excellent

Spencer Curry
BEHRENS-CURRY HOMES
w. [650.631.2909](tel:650.631.2909)
c. [650.315.4748](tel:650.315.4748)
f. [650.631.3926](tel:650.631.3926)
spencer@bci-homes.com
www.bci-homes.com

On May 21, 2021, at 9:37 AM, tylerw@argowin.com wrote:

John,

I have confirmed with Western that the Phase II product will be delivered to the site Monday May 24th. They are usually arrive in the morning. I will have a representative from Argonaut onsite to make sure the product QC is as expected.

Thanks

Logo



Tyler Whittaker

Director of Operations

cell: 408-639-4585

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Distributing Quality Products For Over 40 Years In The Bay Area

-----Original Message-----

From: "john@bci-homes.com" <john@bci-homes.com>

Sent: Friday, May 21, 2021 7:50am

To: "tylerw@argowin.com" <tylerw@argowin.com>, "spencer@bci-homes.com" <spencer@bci-homes.com>

Cc: "Samantha Brown" <samantha@bci-homes.com>, "Casey Cramer"

<casey@arcanumarchitecture.com>, "Shannon Deimling" <shannond@argowin.com>, "Bob Andre" <b.andre@comcast.net>

Subject: RE: Deeter Phase 2 --DELIVERY DELAY

Good Morning Tyler,

Are the doors and windows shipping today?

Are we still on for Monday delivery?

Thanks,

John

From: tylerw@argowin.com <tylerw@argowin.com>

Sent: Thursday, May 13, 2021 5:05 PM

To: spencer@bci-homes.com

Cc: Samantha Brown <samantha@bci-homes.com>; Casey Cramer <casey@arcanumarchitecture.com>; john@bci-homes.com; Shannon Deimling <shannond@argowin.com>; Bob Andre <b.andre@comcast.net>

Subject: Re: Deeter Phase 2 --DELIVERY DELAY

Agreed, and well said.

From: spencer@bci-homes.com
To: [Byron Deeter](#); [Allison Deeter](#); jon@bci-homes.com; [Timothy Chappelle](#); [Casey Cramer](#); [Samantha Brown](#); john@bci-homes.com
Subject: Update on the window and door install
Date: Wednesday, June 9, 2021 6:26:09 PM

Hi Alli and Byron,

I wanted to give you an update on the windows and exterior doors.

Unfortunately, we discovered flaws in some in large dining room windows and transom units. We started checking the frames before install and noticed some bowed frames. They have to be perfectly straight in order to install. I think this was a mistake at the factory, moving the units before the silicone was completely cured and this created movement along the frame. Fortunately, this is something we can correct in the field. The further we looked we realized the spacer bar (materials between the glass) is installed very poorly and is up and down and visible in between the frame. This is the large Veracon architectural glass supplied to Western and out of Minnesota. We are not accepting this and requiring Western to replace the glass. We alerted Argonaut immediately and they brought out the Western rep to review. Western rep has agreed the glass is unacceptable and agreed upon replacing the glass. We came up with a solution to install the frames and replace the glass at a later date. 16 weeks is what we've been told. The good news is by setting the frames now is I can still work on the other finishes. The bad news is there will be some kind of a delay or effect to our schedule. I haven't worked through this yet, but I will. It's very layered and complex and I will be working through this to figure out how to sequence other finishes/trades so we can be prepared to install the replacement glass when it arrives.

This is a blow to the momentum, and we'll continue forward where we can and do whatever is feasible to keep the project moving as quickly as we can. Today they installed the sliding door at the family room.

Below is an email from our rep to the owner of Western Window & Door Co. I have another email from him about the back ordered materials and direction we have given Western and Veracon. I can forward to you as well if you like. I'm sorry I have to write you this email...my stomach is in knots, and I can't sleep.

Jason,

As you are aware, we met onsite this afternoon with Jaime. These are not all the issues but are the immediate issues that unchecked will further delay the project:

- Frames bowed with wet sealed glass
- Glass with wavy spacer bars

What was discussed and agreed on our end is the following:

- The window installer would set and install the units in the openings and cut the seals as necessary to install the frames level, plumb, square and straight. The builder/installer expects compensation for that time.

What was discussed with Jaime about the replacement glass is the following:

- Western would re order the glass and hire a third part glazer (Pro Glass was mentioned) to remove the current IG's, install the replacement IG's and discard of the faulty IG's.
- Based on the bowed frames, we would like all IG's that are oversized to be crated separately rather than improperly glazed in the frames at the factory. Please check all incoming IG's for straight and non twisted spacer bars. This is for the remainder of items for Phase II 310775 and Phase III 310794.

My service center is currently in the process of submitting the requests for the above issues and Jaime is submitting a report of his own. I am told the glass is 16 weeks out which poses a logistical issue as the builder moves forward with the project. There may be areas that are currently accessible for glass replacement but may not be as accessible in 16 weeks. I would recommend that the third party glazer sets up an appt to meet with me, the builder and the window installer onsite to review the current status and what access they would need in 16 weeks so plans can be made to accommodate.

Again, we cannot stress enough that this is a high profile project we are working on and that time is of the essence in getting us product that is complete, on time and built with workmanship like quality.

Please feel free to call me to discuss.

Thanks,

.

Tyler Whittaker
Director of Operations

cell: [408-639-4585](tel:408-639-4585)

1901 S Bascom Ave, Campbell CA 95008

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Spencer Curry

BEHRENS-CURRY HOMES

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w/650.631.2909

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Hi Samantha,

We suffered losses to our productivity and our bottom line, both of these last two winters. The winter of 18-19, was somewhat worse on us than last year, due to the site conditions, the soil conditions, and the amount of work we were trying to accomplish in the mud and erosion. And while the winter of 19-20 had its mud and flood issues, we also had men working high up, on scaffolding, where safety protocols dictate a complete stoppage of work on wet days.

If there is any question as to what constitutes a rain delay, it needs to be clarified that it just doesn't apply to the day it is actually raining.

The amount of work-loss, is more than just what occurs while slogging through the actual storm.

We try to never complain, and we have the most eager crew I've ever worked with. But while a rain storm clearly affects the safety of the workers, and their abilities to perform certain tasks, it also affects motivation.

If it would just rain for two weeks and then stop, we could spend our efforts preparing for it, deal with the safety, access, and motivational issues, then clean up afterwards.

The problem with these last two winters were the intermittent nature of the storms we were experiencing. It would rain for a day or two, with a few hours of heavy rains, and then drizzle. Then stop for a day or two, then start the cycle over again. We could never get a break. The site would never get to dry out. We were constantly dealing with the preparations for, and the cleanup after the storms. And while we are doing all of that, none of it moves the actual progress of the building forward.

To prepare for a storm, we would have to:

- a) Dig trenches to direct the water.
- b) Drag pumps around and make sure they were getting power.
- c) Drape plastic over the vertical cuts, in order to keep them from eroding and collapsing into the excavation. (which occurred anyway, due to the severity of the storms.)
- d) Secure the plastic to keep it from blowing away. Which was a constant battle, because plastic just wants to catch wind.
- e) The stockpile of spoils had to be protected so it would still be usable as backfill in the spring.
- f) The site access had to be continually maintained against the onslaught of water and mud.

And that doesn't even address the mud, and cleanup after a storm:

- a) Despite the plastic, we still had constant erosion, and collapse of mud onto our work.
- b) And while the plastic does help with the erosion, it actually collects, and directs the rainfall into the excavated area, causing floods and muck.
- c) Then in an attempt to dry things out after the storm, the plastic has to be pulled back to allow the sun in.
- d) We would have to put down planks, gravel, mulch, anything to try to stay above the mud. (Which is impossible, as sooner or later, you are standing knee deep in it.)
- e) The mud gets on everything, which is another constant battle.

Not surprisingly, all of these are time consuming tasks, that eat up manpower.

I include safety protocols in all of my budgets. If one winter is more or less harsh than another, I have to allow for it and absorb the costs. I have to. Nothing is more important than the safety of our workers.

And in addition to the manpower losses associated with the performance of all of the tasks described above, we also have to absorb the losses of efficiency, productivity, and yield, during the performance of work that goes directly into the actual construction of the building.

I'm not sure if I mentioned that I took a substantial loss on the basement slab. On other tasks performed during the winter months, I've been happy to break even.

Knowing the pressure that you are obviously getting with regards to the schedule, we have done our best, and hung in there on the good days and the nasty days. And we have suffered our losses in an attempt to further the progress of this project. Over the last two years, I think I could safely say we have easily lost 2-3 months of production.

All the best,
Randy

Randy Prince

Project Manager

Bill Brown Construction Co.

242 Phelan Ave.

San Jose, CA 95112

Cell 408.640.1048 Tel 408.297.3738 ext. 113 Fax 408.297.3848

DEETER WEATHER DELAYS

Date	Day	Weather	Description	Subcontractors Impacted	Delay Days
11/21/2018	Wednesday	63-Steady Rain	Rain heavy in the afternoon, Framers left around 2pm. BB had to put up tarps to work through the rain.	Bill Brown	3
11/23/2018	Friday	Rain	BB Guys worked through the rain. Had to delay the pour because they could not double up the forms in time for the scheduled pour	Bill Brown	3
12/5/2018	Wednesday	56-Rain and Showers	BB had to set up tarps and form the long wall in sections to work in the rain. Remove tarps afterwards and working in the mud	Bill Brown	2
12/18/2018	Tuesday	64-Sunny	Pollack was not on site because the conditions were too wet. They had to wait 3 days for the soil conditions to dry out before they start installing the sub drainage again	Bill Brown and Gary Pollack	3
1/9/2019	Wednesday	60-Cloudy Showers	Soil too wet to work on	Bill Brown and Gary Pollack	2
1/11/2019	Friday	58-Showers in the afternoon	Drilling and installing Sonotube and rebar cages. Could not pour as many piers as schedule due to mud and showers. Slowed down the cleaning and patching the waterproofing on the garage slab waterproofing	Bill Brown and Gary Pollack	3
1/15/2019	Tuesday	55-Rain	Prevented the guys from waterproofing the garage basement back wall	Bill Brown and Gary Pollack	2
1/16/2019	Wednesday	60-Heavy Rain	No water proofers, too wet to work	Bill Brown	3
1/17/2019	Thursday	60-Heavy Rain	No water proofers, too wet to work	Bill Brown	4
1/31/2019	Thursday	61-Cloudy	Rain overnight made everything a muddy mess this morning. Guys had to clean up before they could start.	Bill Brown and Gary Pollack	2
2/8/2019	Friday	51-Rain	Could not install rebar as scheduled in the foundation that would join the retaining wall	Bill Brown and Gary Pollack	1
2/13/2019	Wednesday	61-Rain	Set up a tarp over the garage so they could work. They started to strip the inside forms	Bill Brown	1
2/14/2019	Thursday	55-Rain AM & PM	BB, 7 Guys finished striping the forms inside the garage first floor and started to install the shoring for the roof forms	Bill Brown	2
2/15/2019	Friday	52-Rain	Soil too wet to work on	Bill Brown and Gary Pollack	2
2/27/2019	Wednesday	63-Showers	heavy rain overnight, basement pad too wet to work	Bill Brown and Gary Pollack	1
3/6/2019	Wednesday	59-Cloudy and Showers	Heavy rain over night, too raining to work	Bill Brown	3
3/7/2019	Thursday	52-Rain	Spent the first part of the day cleaning up after the rain. Had to pour the retaining wall footing in the rain	Bill Brown	1
3/20/2019	Wednesday	60-AM Rain, PM Sunny	Had to work on task under the tarp before they could start installing the rebar in the retaining wall	Bill Brown	3
3/22/2019	Friday	62-Rain Day	The guys had to pump the water out of the grade beam on the North Wall where the steel wall will go	Bill Brown	2
3/26/2019	Tuesday	64-Rain	Worked on the retaining wall under the tarps in the rain	Bill Brown	1
3/27/2019	Wednesday	62-Rain	BB 6 guys poured the retaining wall in the rain and mud	Bill Brown and Gary Pollack	1

4/1/2019	Monday	68-Showers	Delayed installing plastic, void form and protection board. The guys waterproofing the matt slab had to leave after a few hours because it kept showering and they installed that material in the rain	Bill Brown and Gary Pollack	3
4/3/2019	Wednesday	62-PM Rain	Prevented BB from installing void form in the basement pad and installing the waterproofing, finished on the right side and started in the theater area. They had to leave early when it started raining.	Bill Brown	2
4/5/2019	Friday	63-AM Rain	Stopped Pollack's work. Started again after the rain. Delayed backfill in front of the garage. The dirt was too wet and they could not reach compaction. Eventually the soils engineer made them remove and replace with quarry fines so they could get compaction	Bill Brown and Gary Pollack	3
11/26/2019	Tuesday	61-PM Rain	Had to build a shed to keep the rain off, continued to install cedar boards on the inside of the fireplace form	Bill Brown and Gary Pollack	1
11/27/2019	Wednesday	Heavy Rain	First Rain of the season. Majority of the day was damage control. Pumping out water of the theater and basement. BB's crew re-secured the plastic on the shed over the pool slab. Roofer tried to work for awhile, left after lunch	Bill Brown and Gary Pollack	2
12/2/2019	Monday	60-Rain	Spent part of the day setting up tarps over the work area. Worked as much as they could but ended up doing damage control and clearing out mud	Bill Brown and Gary Pollack	1
12/13/2019	Friday	60-AM Rain	BB steel crew could not weld in the rain	Bill Brown	1
12/18/2019	Wednesday	Showers	BB steel crew could not weld in the rain	Bill Brown	2
1/16/2020	Thursday	49-Rain Day	Worked as much as they could in the morning and on items that were safe enough to work on.	Bill Brown and Gary Pollack	3

27 Rain Days, Not Including Weekends

Total Delay Days:

63

ZFA STRUCTURAL ENGINEERS

san francisco
silicon valley
sacramento
santa rosa
napa

Casey Cramer
ARCANUM ARCHITECTURE
501 Third Street
Suite 200
San Francisco, CA 94107

December 1, 2017

**RE: Structural Narrative for:
76 Ridge Drive
Atherton, California**

Casey,

For cost estimating purposes, please see the following for our schematic narrative of structural systems for the proposed residence at 76 Ridge Drive in Atherton, California. No structural analysis has been performed; therefore, the information provided herein is based on our experience and engineering judgment and should be utilized by the cost estimators as such, pending a detailed structural analysis. This narrative is based on drawings by Arcanum Architecture, dated October 13, 2017.

Main Residence

Foundation and Basement Floor: The main residence will be founded on an 18" thick reinforced mat foundation supported by forty (40) 24" diameter, 30'-0" deep cast-in-place drilled piers. Void forms are to be provided below the entire basement footprint. **actual seventy-six (76) piers**

Basement Walls: Basement perimeter walls will 12" thick reinforced concrete walls. Select interior walls around stair openings will be 12" thick reinforced concrete walls. The remaining walls will be nonstructural, light-framed partitions.

Ground Floor: The ground floor will a 14" thick, reinforced cast-in-place concrete structural slab with vertical transitions between interior and exterior structural slabs.

Living, Entry, and Office Walls: Select walls, with various thicknesses (8" minimum), to be determined based on architectural finishes, will be cast-in-place reinforced concrete walls. The remaining walls will be nonstructural light-framed partitions with HSS posts.

Kitchen and Family Wing Walls: Exterior, elevator, and walls adjacent to the stair will be 8" thick cast-in-place reinforced concrete walls. Steel wide-flange columns will support the floor above between the pool and residence.

Living, Entry, and Office Roof: Engineered wood I-joists will frame between cantilever steel beams. The entire roof will be sheathed with 5/8" tongue and groove plywood.

Second Floor: The second floor will be a 12" thick cast-in-place reinforced concrete structural slab cantilevering off of concrete walls and wide flange steel columns below.

Second Floor Walls: Select walls, with various thicknesses (8" minimum), to be determined based on architectural finishes, will be cast-in-place reinforced concrete walls. The remaining walls will be nonstructural light-framed partitions with HSS posts.

Second Floor Roof: Engineered wood I-joists will frame between cantilever steel beams. The entire roof will be sheathed with 5/8" tongue and groove plywood.

Garage eight (8) piers for site wall between GH and Garage

Foundation and Floor: The garage will be founded on a 12" thick reinforced mat foundation supported by ten (10) 18" diameter, 30'-0" deep piers. Void forms will be provided below the entire footprint. actual fifteen (15) piers

Walls: There will be a 10" thick concrete retaining wall along the entire western wall. The remaining walls will be wood or light gauge metal with plywood sheathing.

Roof: The roof will be constructed of engineered wood I-joists framing between structural walls and engineered wood beams. The roof will be sheathed with 5/8" tongue and groove plywood sheathing.

Guest House

Foundation and Floor: The garage will be founded on a 12" thick reinforced mat foundation supported by eight (8) 18" diameter, 30'-0" deep piers. Void forms will be provided below the entire footprint. actual eighteen (18) piers

Walls: There will be a 10" thick concrete retaining wall along the entire western wall. The remaining walls will be wood or light gauge metal with plywood sheathing. Two wide flange steel moment frames will be provided at the north and south side of the guest house.

Roof: The roof will be constructed of engineered wood I-joists framing between cantilever structural steel beams. The roof will be sheathed with 5/8" tongue and groove plywood sheathing.

Site Work nine (9) piers for Mechanical Enclosure

Site retaining walls: Site retaining walls will be 10" to 12" thick reinforced concrete supported by 12" thick spread footings supported by 18" diameter staggered piers. Spacing of piers and footing dimensions will be dependent on retained heights. For estimating, assume that the footing width is 2/3 of the retained height with staggered piers at 6'-0" on center (12'-0" in a row).

Exterior Structural Slabs: Exterior structural slabs will be 8" thick reinforced concrete spanning to reinforced concrete grade beams spaced at approximately 12'-0" on center. Grade beams will be supported by 18" diameter cast-in-place drilled piers. Void forms will be provided below slabs and grade beams.

Pool: The pool shell will be supported by an 18" thick reinforced mat foundation supported by eight (8) 24" diameter, 30'-0" deep cast-in-place drilled piers. Exterior structural slabs will connect the pool structure to the residence

actual forty (40) piers

Note that the project Geotechnical Engineer recommends Sonotubes at the top of all drilled piers and void forms due to the highly expansive soils found at the site.

Should you have questions, please contact the undersigned.

Regards,

ZFA STRUCTURAL ENGINEERS



Sean Westbrook, SE
Senior Engineer



Jason R. Powers PE, LEED AP
Principal + Studio Director

Revision Schedule		
#	Revision Description	Date
1	PLAN CHECK	11/16/18
2	REVISION	03/22/19
4	COORDINATION	05/20/19
5	REVISIONS	10/04/19
6	PLAN CHECK	12/20/19
7	REVISIONS	4/10/20

ZFA STRUCTURAL ENGINEERS
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san francisco ca 94111
zfa job no. 18083

zfa.com
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PROJECT

**DEETER RESIDENCE
MAIN HOUSE**

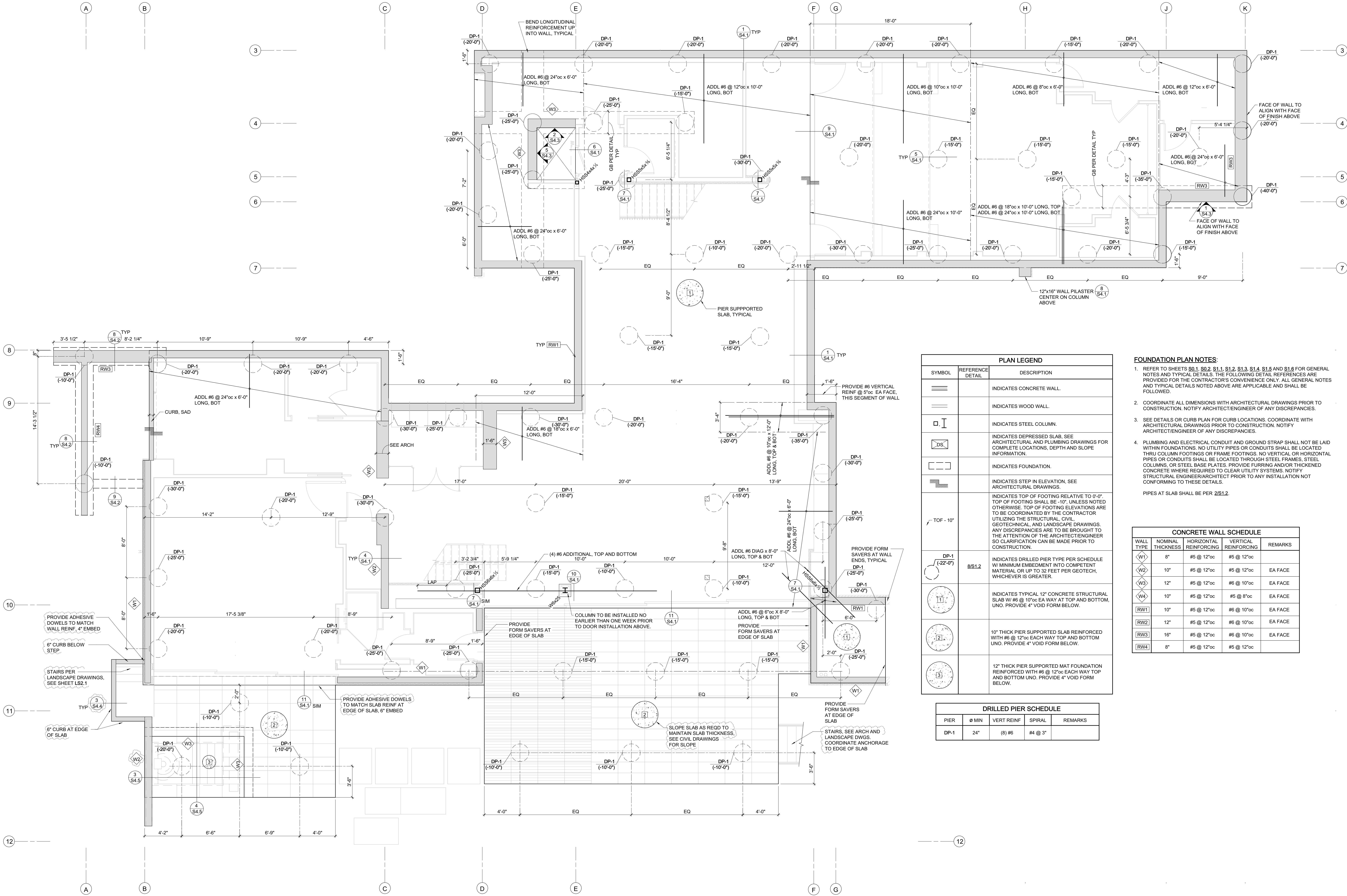
**76 RIDGE DRIVE
ATHERTON, CA**

SHEET DESCRIPTION

**BASEMENT
FOUNDATION
PLAN**

ENGR:	JCP	DATE	9/21/2018
PM:	JRP		
SHEET			

S2.1



BASEMENT AND FOUNDATION PLAN

1/4" = 1'-0"

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Revision Schedule		
#	Revision Description	Date
4	COORDINATION	05/20/19
5	REVISIONS	10/04/19
7	REVISIONS	4/10/20

POOL PATIO FOUNDATION PLAN NOTES:

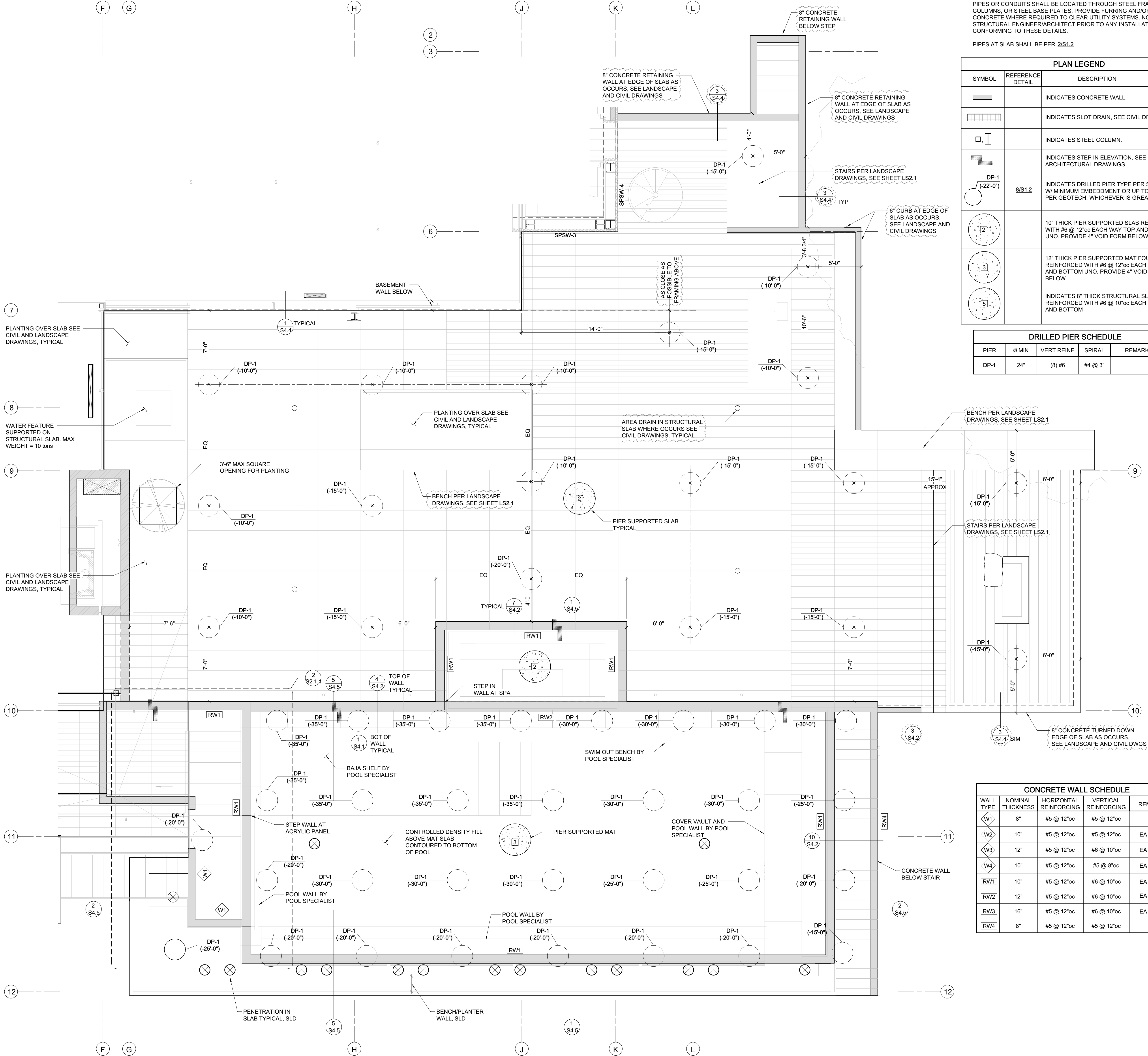
- REFER TO SHEETS S0.1, S0.2, S1.1, S1.2, S1.3, S1.4, S1.5 AND S1.6 FOR GENERAL NOTES AND TYPICAL DETAILS. THE FOLLOWING DETAIL REFERENCES ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. ALL GENERAL NOTES AND TYPICAL DETAILS NOTED ABOVE ARE APPLICABLE AND SHALL BE FOLLOWED.
- COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
- SEE DETAILS OR CURB PLAN FOR CURB LOCATIONS. COORDINATE WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
- PLUMBING AND ELECTRICAL CONDUIT AND GROUND STRAP SHALL NOT BE LAID WITHIN FOUNDATIONS. NO UTILITY PIPES OR CONDUITS SHALL BE LOCATED THRU COLUMN FOOTINGS OR FRAME FOOTINGS. NO VERTICAL OR HORIZONTAL PIPES OR CONDUITS SHALL BE LOCATED THROUGH STEEL FRAMES, STEEL COLUMNS, OR STEEL BASE PLATES. PROVIDE FURRING AND/OR THICKENED CONCRETE WHERE REQUIRED TO CLEAR UTILITY SYSTEMS. NOTIFY STRUCTURAL ENGINEER/ARCHITECT PRIOR TO ANY INSTALLATION NOT CONFORMING TO THESE DETAILS.

PIPES AT SLAB SHALL BE PER 2S1.2.

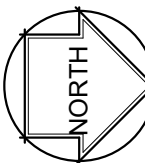
PLAN LEGEND		
SYMBOL	REFERENCE DETAIL	DESCRIPTION
		INDICATES CONCRETE WALL.
		INDICATES SLOT DRAIN, SEE CIVIL DRAWINGS
		INDICATES STEEL COLUMN.
		INDICATES STEP IN ELEVATION, SEE ARCHITECTURAL DRAWINGS.
	DP-1 (-22'-0")	INDICATES DRILLED PIER TYPE PER SCHEDULE W/ MINIMUM EMBEDMENT OR UP TO 32 FEET PER GEOTECH, WHICHEVER IS GREATER.
	2	10" THICK PIER SUPPORTED SLAB REINFORCED WITH #6 @ 12"oc EACH WAY TOP AND BOTTOM UNO. PROVIDE 4" VOID FORM BELOW.
	3	12" THICK PIER SUPPORTED MAT FOUNDATION REINFORCED WITH #6 @ 12"oc EACH WAY TOP AND BOTTOM UNO. PROVIDE 4" VOID FORM BELOW.
	5	INDICATES 8" THICK STRUCTURAL SLAB REINFORCED WITH #6 @ 10"oc EACH WAY TOP AND BOTTOM

DRILLED PIER SCHEDULE			
PIER	Ø MIN	VERT REINF	SPIRAL
DP-1	24"	(8) #6	#4 @ 3"

CONCRETE WALL SCHEDULE			
WALL TYPE	NOMINAL THICKNESS	HORIZONTAL REINFORCING	VERTICAL REINFORCING
W1	8"	#5 @ 12"oc	#5 @ 12"oc
W2	10"	#5 @ 12"oc	#5 @ 12"oc
W3	12"	#5 @ 12"oc	#6 @ 10"oc
W4	10"	#5 @ 12"oc	#5 @ 8"oc
RW1	10"	#5 @ 12"oc	#6 @ 10"oc
RW2	12"	#5 @ 12"oc	#6 @ 10"oc
RW3	16"	#5 @ 12"oc	#6 @ 10"oc
RW4	8"	#5 @ 12"oc	#5 @ 12"oc



2 POOL AND TERRACE FRAMING PLAN - PARTIAL PLAN
1/4" = 1'-0"



POOL AND TERRACE FRAMING PLAN

1/4" = 1'-0"

ZFA STRUCTURAL ENGINEERS
601 montgomery street | suite 1450
san francisco ca 94111
zfa job no. 18083



PROJECT

DEETER RESIDENCE
MAIN HOUSE
76 RIDGE DRIVE
ATHERTON, CA

SHEET DESCRIPTION

POOL AND
TERRACE
FOUNDATION
PLAN

ENGR:	JCP	DATE	9/21/2018
PM:	JRP		

SHEET

S2.1.1

MECHANICAL FOUNDATION PLAN NOTES:

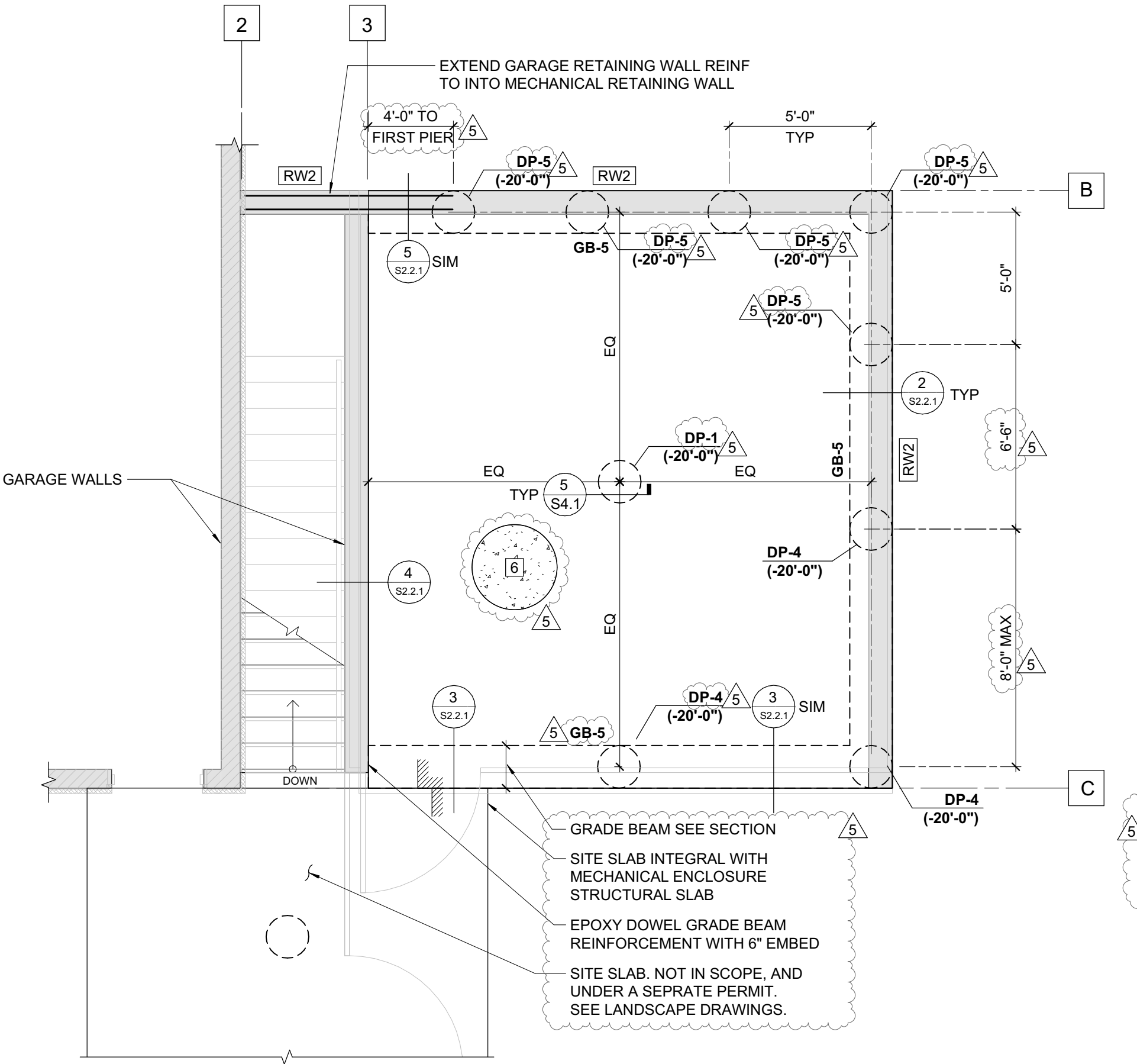
1. REFER TO SHEETS **S0.1, S0.2, S1.1** AND **S1.2** FOR STANDARD NOTES AND DETAILS.
2. DIMENSIONS TO FACE OF WALL UNO. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
3. PLUMBING AND ELECTRICAL CONDUIT AND GROUND STRAP SHALL NOT BE LAID WITHIN FOUNDATIONS. NO UTILITY PIPES OR CONDUITS SHALL BE LOCATED THRU COLUMN FOOTINGS OR FRAME FOOTINGS. NO VERTICAL OR HORIZONTAL PIPES OR CONDUITS SHALL BE LOCATED THROUGH STEEL FRAMES, STEEL COLUMNS, OR STEEL BASE PLATES. PROVIDE FURRINGS AND/OR THICKENED CONCRETE WHERE REQUIRED TO CLEAR UTILITY SYSTEMS. NOTIFY STRUCTURAL ARCHITECT/ENGINEER PRIOR TO ANY INSTALLATION NOT CONFORMING TO THESE DETAILS.
4. ELEVATION OF THE TOP OF FINISHED SLAB = 0'-0", UNLESS NOTED OTHERWISE.
5. STRUCTURAL OBSERVATIONS OF THE FOLLOWING ITEMS ARE REQUIRED PER THE TOWN OF ATHONTON AND CBC AND SHALL BE CONDUCTED BY ZFA ACCORDINGLY:
 - FOUNDATION EXCAVATIONS AND REINFORCING STEEL PLACEMENT.
 - REINFORCING STEEL FOR CONCRETE SLABS AND WALLS.
 - WOOD FRAMED WALLS PRIOR TO COVERING OR INSTALLING WALL FINISHES.
 - THE COMPLETE STRUCTURAL SYSTEM, JUST PRIOR TO WALL FINISHES.

MECHANICAL FOUNDATION PLAN LEGEND		
SYMBOL	REFERENCE DETAIL	DESCRIPTION
		INDICATES CONCRETE WALL PER SCHEDULE.
		INDICATES DRILLED PIER TYPE PER SCHEDULE W/ MINIMUM EMBEDMENT INTO BEDROCK OR UP TO 32 FEET PER GEOTECH, WHEREVER IS GREATER.
		INDICATES SITE WALL GRADE BEAM PER SCHEDULE.
		INDICATES 10" THICK STRUCTURAL SLAB REINFORCED WITH #5 @ 12"oc EACH WAY

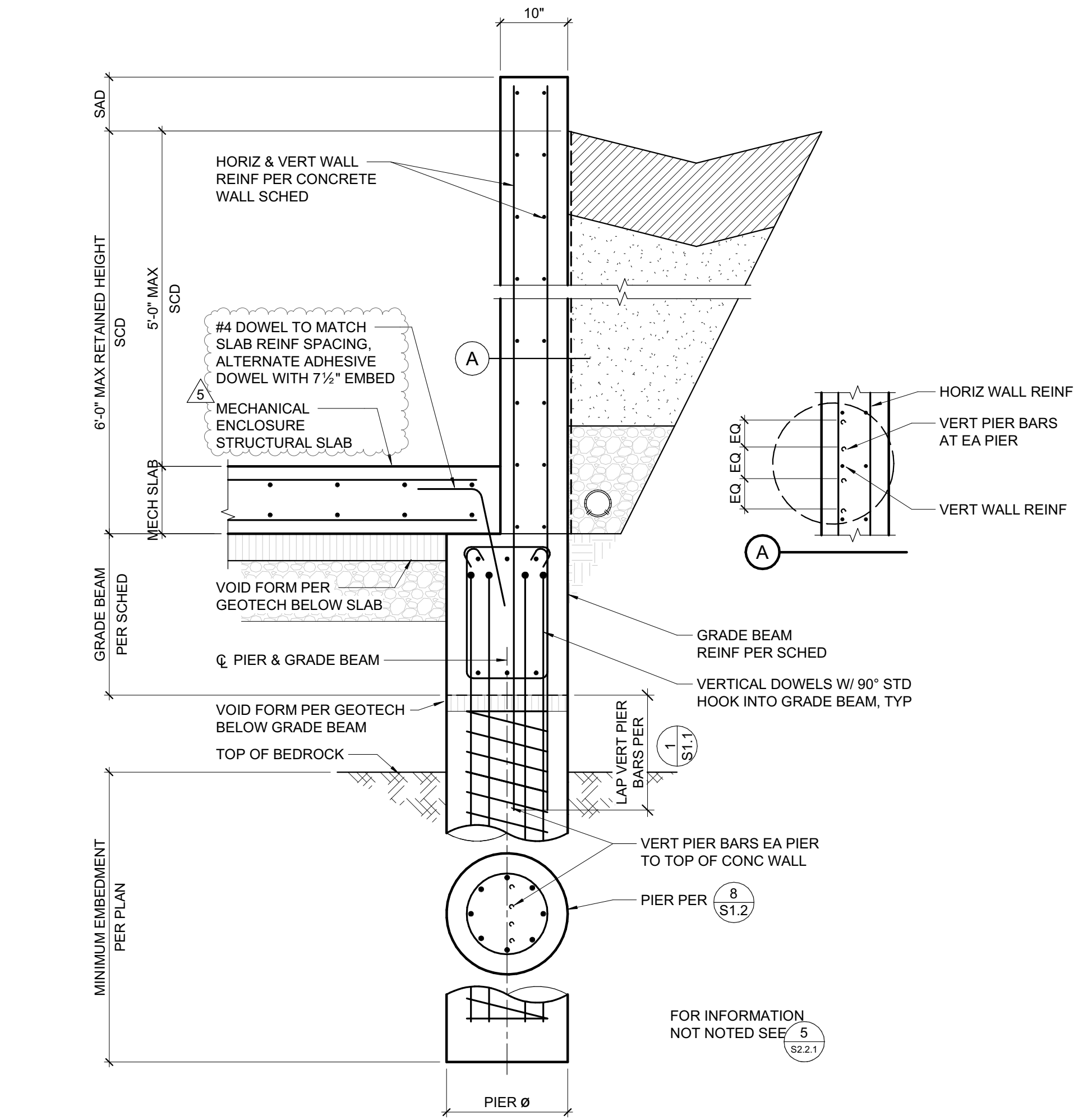
CONCRETE WALL SCHEDULE				
WALL TYPE	NOMINAL THICKNESS	HORIZONTAL REINFORCING	VERTICAL REINFORCING	REMARKS
W1	8"	#5 @ 12"oc	#5 @ 12"oc	
W2	10"	#5 @ 12"oc	#5 @ 12"oc	
RW1	8"	#5 @ 12"oc	#5 @ 10"oc	
RW2	10"	#5 @ 12"oc	#5 @ 10"oc	EA FACE

GRADE BEAM SCHEDULE					
MARK	WIDTH	DEPTH	LONG REINF	TIES	REMARKS
GB-1	15"	24" MIN	(2) #5 T&B	#4 @ 9"oc	
GB-2	15"	18"	(3) #5 T&B	#3 @ 12"oc	
GB-3	15"	15"	(2) #5 T&B	#3 @ 12"oc	
GB-4	12"	18"	(3) #5 T&B	#3 @ 12"oc	
GB-5	18"	24"	(3) #5 T&B	#3 @ 12"oc	

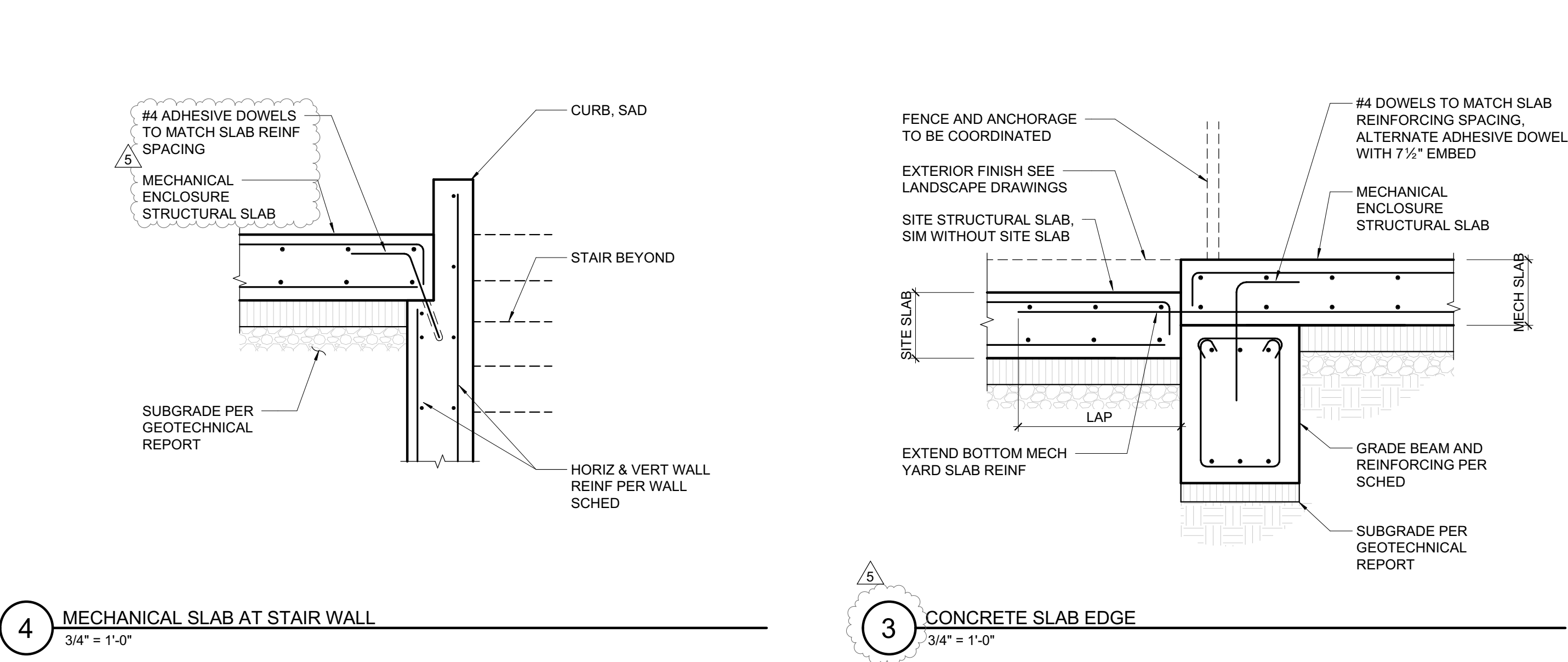
DRILLED PIER SCHEDULE				
PIER	Ø MIN	VERT REINF	SPIRAL	REMARKS
DP-1	24"	(6) #6	#4 @ 3"	
DP-2	24"	(12) #6	#4 @ 3"	
DP-3	18"	(5) #6	#3 @ 3"	
DP-4	18"	(8) #6	#3 @ 3"	
DP-5	18"	(10) #6	#3 @ 3"	SEE 8/S1.2



1 MECHANICAL ENCLOSURE FOUNDATION PLAN
3/4" = 1'-0"

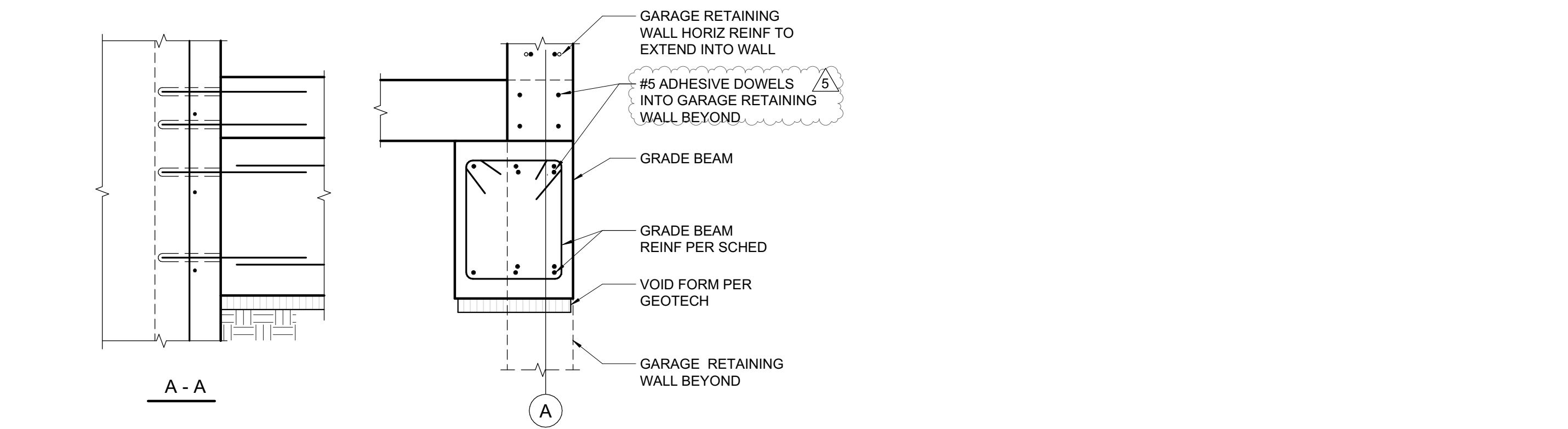


2 MECHANICAL ENCLOSURE RETAINING WALL
3/4" = 1'-0"

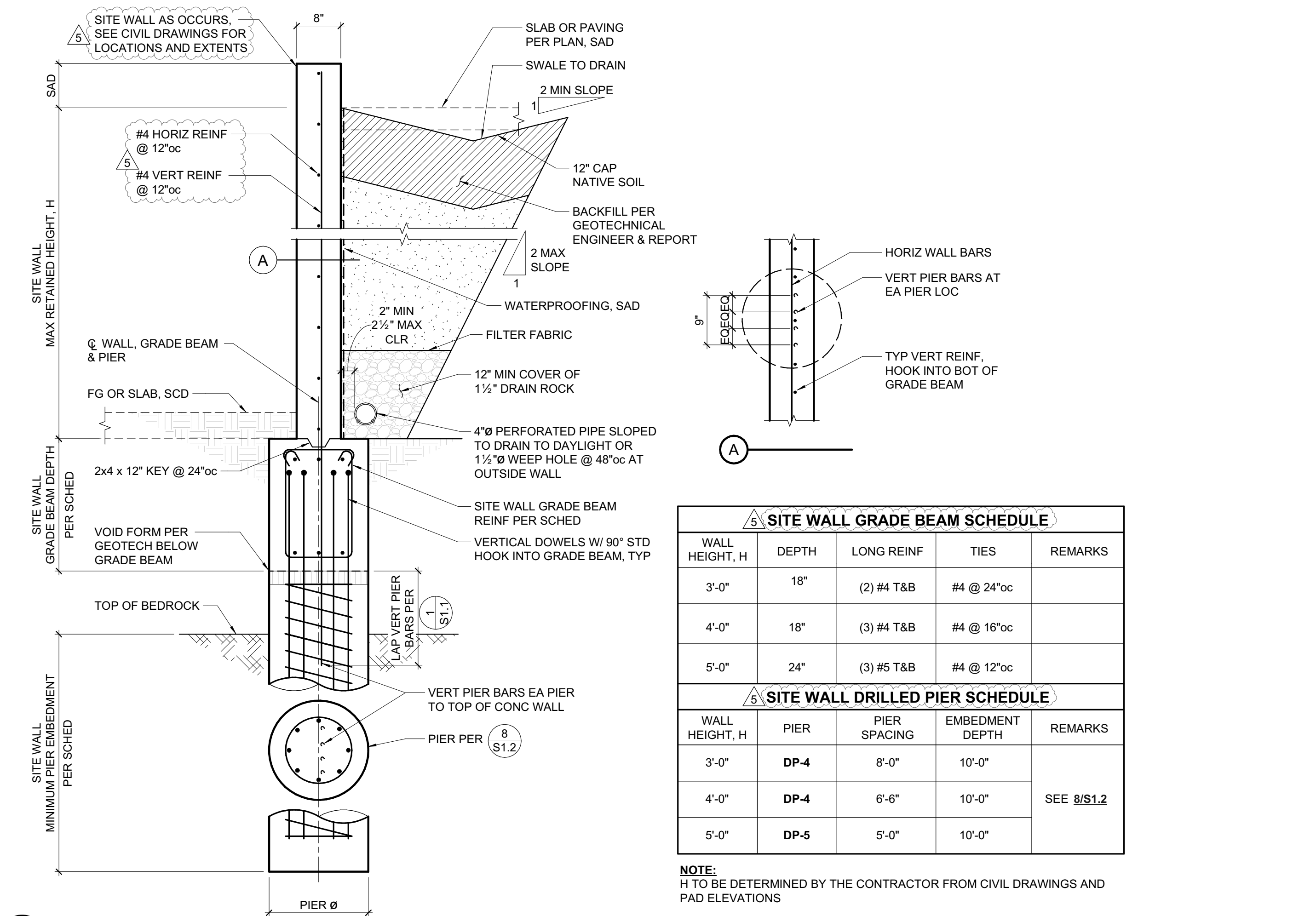


4 MECHANICAL SLAB AT STAIR WALL
3/4" = 1'-0"

3 CONCRETE SLAB EDGE
3/4" = 1'-0"



5 GRADE BEAM AT GARAGE WALL CONNECTION
3/4" = 1'-0"



6 SITE WALL
3/4" = 1'-0"

SITE WALL GRADE BEAM SCHEDULE				
WALL HEIGHT, H	DEPTH	LONG REINF	TIES	REMARKS
3'-0"	18"	(2) #4 T&B	#4 @ 24"oc	
4'-0"	18"	(3) #4 T&B	#4 @ 16"oc	
5'-0"	24"	(3) #5 T&B	#4 @ 12"oc	
SITE WALL DRILLED PIER SCHEDULE				
WALL HEIGHT, H	PIER	PIER SPACING	EMBEDMENT DEPTH	REMARKS
3'-0"	DP-4	8'-0"	10'-0"	
4'-0"	DP-4	6'-6"	10'-0"	SEE 8/S1.2
5'-0"	DP-5	5'-0"	10'-0"	

NOTE:
H TO BE DETERMINED BY THE CONTRACTOR FROM CIVIL DRAWINGS AND PAD ELEVATIONS

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Revision Schedule		
#	Revision Description	Date
5	CONSTRUCTION SET	1/17/20

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san francisco ca 94111
zfa job no. 18083

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PROJECT

DEETER RESIDENCE:
GARAGE AND GUEST HOUSE
76 RIDGE DRIVE
ATHERTON, CA 94027

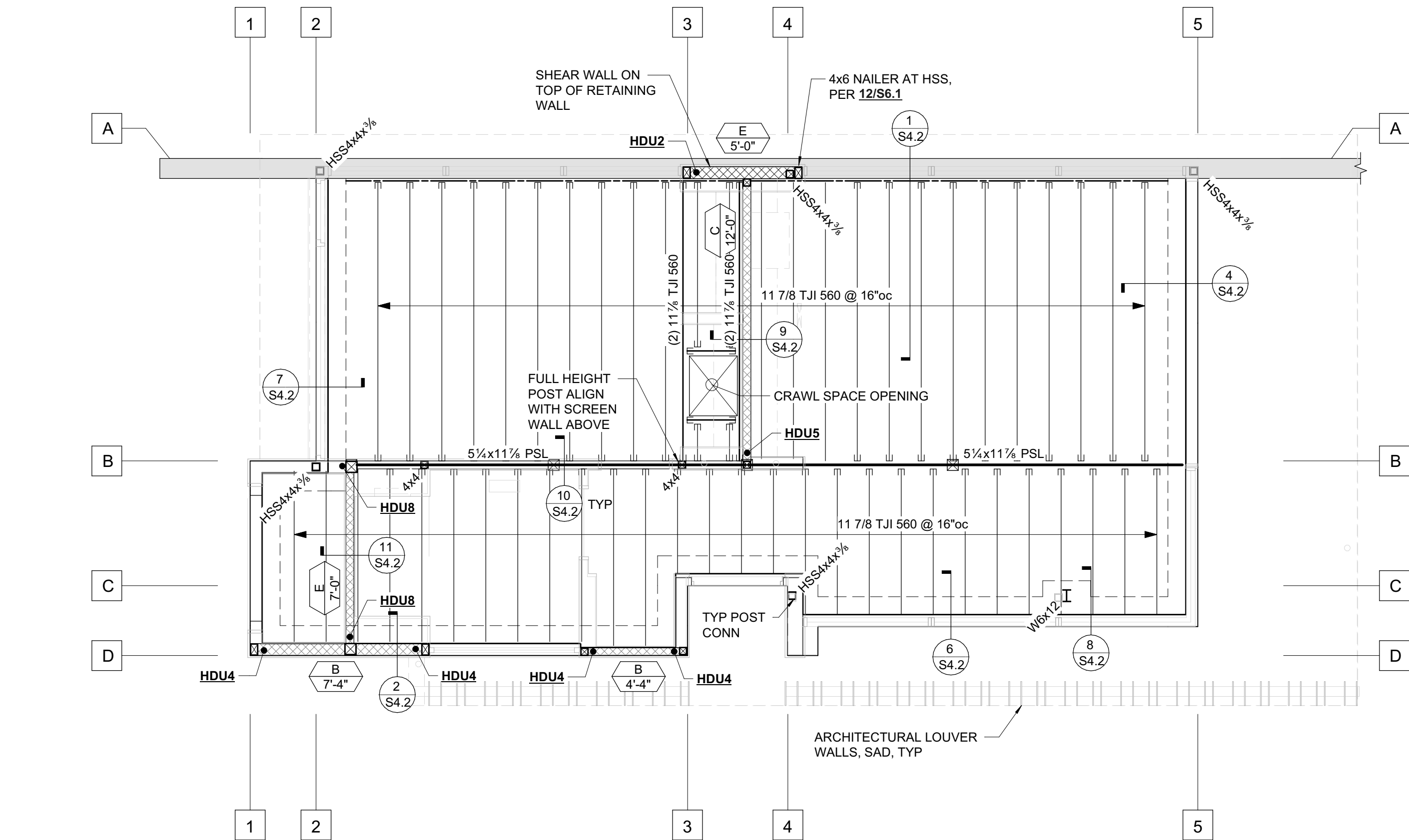
SHEET DESCRIPTION

MECHANICAL
ENCLOSURE

ENGR:	DM	DATE:	06.13.18
PM:	JCP		

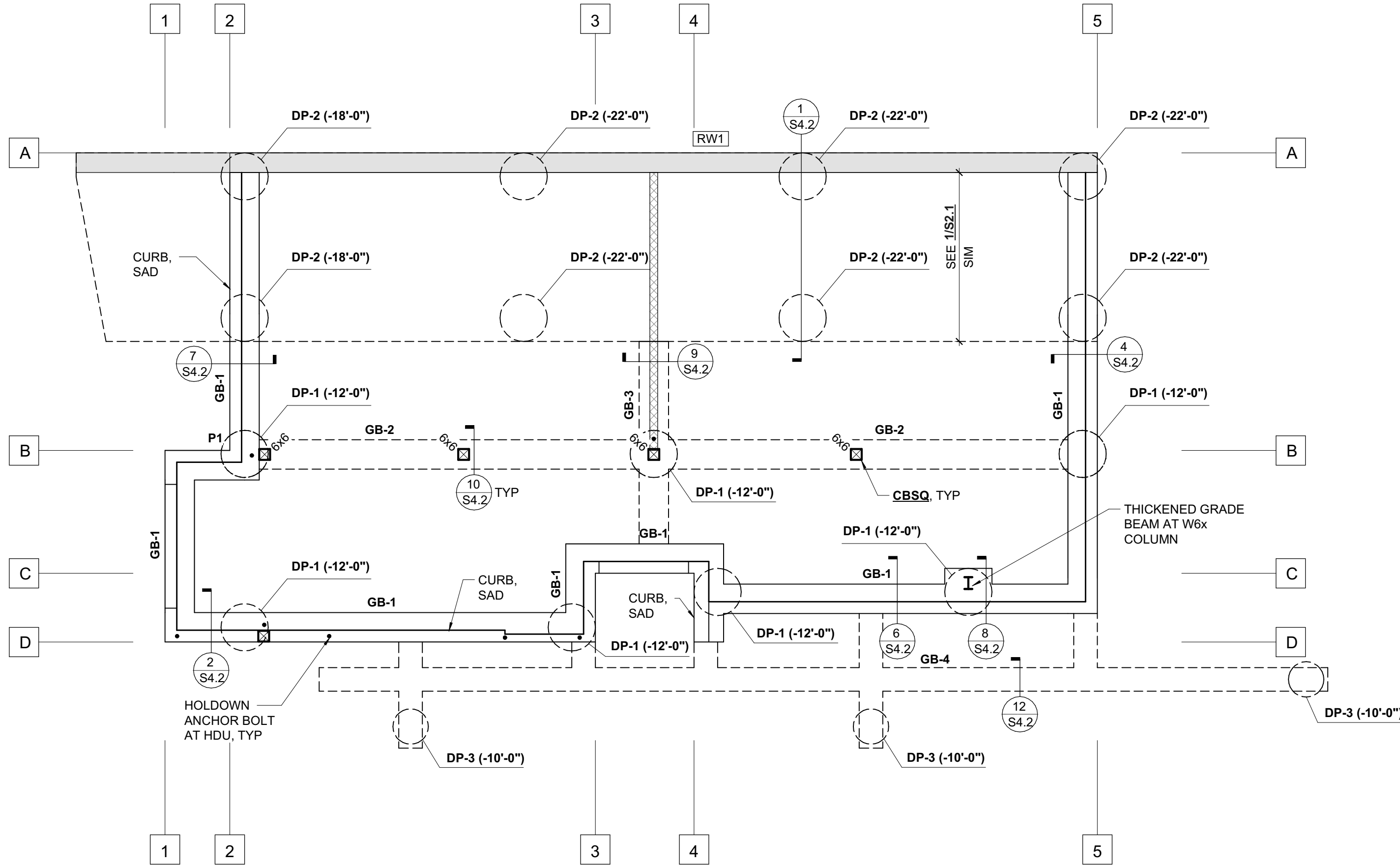
SHEET

S2.2.1



GUEST HOUSE FLOOR PLAN

1/4" = 1'-0"



GUEST HOUSE FOUNDATION PLAN

1/4" = 1'-0"

DRILLED PIER SCHEDULE					REMARKS
PIER	Ø MIN	VERT REINF	SPIRAL		
DP-1	24"	(6) #6	#4 @ 3"		
DP-2	24"	(12) #6	#4 @ 3"		
DP-3	18"	(5) #6	#3 @ 3"		
DP-4	18"	(8) #6	#3 @ 3"		
DP-5	18"	(10) #6	#3 @ 3"		

SHEAR WALL SCHEDULE									
SW	APA RATED SHEATHING	NAILING (PEN)	ANCHORAGE						REMARKS
			%1/4" BOLT FDN			AT FRAMING			
(A)	%1/2" (32/16) EXP 1	10d @ 6"oc	32"oc	48"oc	6"oc	A308	16"oc	3x MIN AT ALL ADJOINING PANEL EDGES	
(B)	%1/2" (32/16) EXP 1	10d @ 4"oc	24"oc	32"oc	4"oc	16"oc	10"oc		
(C)	%1/2" (32/16) EXP 1	10d @ 3"oc	16"oc	24"oc	3"oc	8"oc	8"oc		
(D)	%1/2" (32/16) EXP 1	10d @ 2"oc	-	16"oc	(2) ROWS @ 4"oc	8"oc	6"oc		
(E)	%1/2" (32/16) EXP 1 BOTH SIDES	10d @ 3"oc	-	12"oc	(2) ROWS @ 2"oc	6"oc	(2) ROWS @ 6"oc		

* 2x SILL: SDS 1/4x4 1/2". 3x SILL: SDS 1/4x6". FOR SDS @ 8"oc OR LESS, PROVIDE 4x BLKG BLW.

FOUNDATION PLAN NOTES:

- REFER TO SHEETS S0.1, S1.1, S1.2 AND S1.3 FOR GENERAL NOTES AND TYPICAL DETAILS. THE FOLLOWING DETAIL REFERENCES ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. ALL GENERAL NOTES AND TYPICAL DETAIL SHEETS NOTED ABOVE ARE APPLICABLE AND SHALL BE FOLLOWED.
 - DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
 - SEE DETAILS OR CURB PLAN FOR CURB LOCATIONS. COORDINATE WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES. PROVIDE LONGER ANCHOR BOLTS AT CURBS PER C/S0.1.
 - ALL EXTERIOR WALLS NOT DESIGNATED AS SHEAR WALLS ON PLANS (INCLUDING WALLS ADJACENT TO SEISMIC GAPS) SHALL BE SHEATHED AS SHEAR WALL TYPE 'A' PER SHEAR WALL SCHEDULE, UNO.
 - PLUMBING AND ELECTRICAL CONDUIT AND GROUND STRAP SHALL NOT BE LAID WITHIN FOUNDATIONS. NO UTILITY PIPES OR CONDUITS SHALL BE LOCATED THRU COLUMN FOOTINGS OR FRAME FOOTINGS. NO PIPES OR CONDUITS THRU SILL PLATES SHALL BE WITHIN 12" OF HOLDOWN BOLTS. NO MECHANICAL, ELECTRICAL, OR PLUMBING OPENINGS SHALL BE LOCATED IN SHEAR WALLS UNLESS SHOWN AND DETAILED ON THE STRUCTURAL DRAWINGS. NO VERTICAL OR HORIZONTAL PIPES OR CONDUITS SHALL BE LOCATED THROUGH STEEL FRAMES, STEEL COLUMNS, OR STEEL BASE PLATES. PROVIDE FURRING AND/OR THICKENED CONCRETE WHERE REQUIRED TO CLEAR UTILITY SYSTEMS. NOTIFY STRUCTURAL ENGINEER/ARCHITECT PRIOR TO ANY INSTALLATION NOT CONFORMING TO THESE DETAILS.
- PIPES THROUGH FOOTINGS SHALL BE PER 1/S1.2.
- PIPES AT STRUCTURAL SLAB SHALL BE PER 2/S1.2.
- PIPES THROUGH WOOD FRAMING SHALL BE PER 2/S1.3 AND 6/S1.4.
- CONTRACTOR SHALL DETERMINE FOUNDATION STEP LOCATIONS BASED ON GEOTECHNICAL REPORT, CIVIL, ARCHITECTURAL AND LANDSCAPE DRAWINGS. STEP FOOTING PER 7/S1.2.
 - STRUCTURAL OBSERVATIONS OF THE FOLLOWING ITEMS ARE REQUIRED PER THE TOWN OF ATHERTON AND CBC AND SHALL BE CONDUCTED BY ZFA ACCORDINGLY:
 - FOUNDATION EXCAVATIONS AND REINFORCING STEEL PLACEMENT.
 - REINFORCING STEEL FOR CONCRETE SLABS AND WALLS.
 - WOOD FRAMED WALLS PRIOR TO COVERING OR INSTALLING WALL FINISHES.
 - THE COMPLETE STRUCTURAL SYSTEM, JUST PRIOR TO WALL FINISHES.

PLAN LEGEND		
SYMBOL	REFERENCE DETAIL	DESCRIPTION
	<u>1/S1.3</u>	INDICATES STRUCTURAL WALL.
	<u>4/S1.4</u>	INDICATES SHEAR WALL TYPE AND MINIMUM WALL LENGTH. SYMBOL LOCATION INDICATES SHEATHED FACE OF WALL UNLESS NOTED OTHERWISE.
	<u>F/S0.1</u>	
	<u>7/S1.4</u>	INDICATES STRAPPED SHEAR WALL WITH TYPE AND OVERALL WALL LENGTH. SEE ARCHITECTURAL DRAWINGS FOR OPENINGS.
	<u>E/S0.1</u>	INDICATES WOOD POST.
	<u>E/S0.1</u>	INDICATES WOOD POST BELOW.
		INDICATES POST WITH HOLDOWN. POSTS WITH HOLDOWN ARE FULL HEIGHT FROM SILL TO TOP PLATE.
	<u>10/S1.4</u>	INDICATES HSS STEEL COLUMN.
		INDICATES GRADE BEAM.
		INDICATES CONCRETE WALL.
		INDICATES STEP IN ELEVATION. SEE ARCHITECTURAL DRAWINGS.
		INDICATES GRIDLINE AT FACE OF WALL.
		INDICATES CONCRETE GRADE BEAM TYPE PER SCHEDULE.
	<u>8/S1.2</u>	INDICATES DRILLED PIER TYPE PER SCHEDULE W/ MINIMUM EMBEDMENT OR UP TO 32 FEET PER GEOTECH, WHEREVER IS GREATER.

GRADE BEAM SCHEDULE					
MARK	WIDTH	DEPTH	LONG REINF	TIES	REMARKS
GB-1	15"	24" MIN	(2) #5 T&B	#4 @ 9"oc	
GB-2	15"	18"	(3) #5 T&B	#3 @ 12"oc	
GB-3	15"	15"	(2) #5 T&B	#3 @ 12"oc	
GB-4	12"	18"	(3) #5 T&B	#3 @ 12"oc	
GB-5	18"	24"	(3) #5 T&B	#3 @ 12"oc	

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Revision Schedule		
#	Revision Description	Date
1	Plan Check	7/13/18
2	Revision 2	9/14/18
4	REVISIONS	10/04/19

ZFA STRUCTURAL ENGINEERS
601 montgomery street | suite 1450
san francisco ca 94111
zfa job no. 18083

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PROJECT

DEETER RESIDENCE:
GARAGE AND GUEST HOUSE
76 RIDGE DRIVE
ATHERTON, CA 94027

SHEET DESCRIPTION

GUEST HOUSE
FOUNDATION
PLAN

ENGR:	DM	DATE:	06.13.18
PM:	JCP		

SHEET

S2.3

PARTIAL SITE PLAN NOTES:

- REFER TO SHEETS **S0.1**, **S0.2**, **S1.1** AND **S1.2** FOR STANDARD NOTES AND DETAILS.
- DIMENSIONS TO FACE OF WALL UNO. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
- PLUMBING AND ELECTRICAL CONDUIT AND GROUND STRAP SHALL NOT BE LAID WITHIN FOUNDATIONS. NO UTILITY PIPES OR CONDUITS SHALL BE LOCATED THRU COLUMN FOOTINGS OR FRAME FOOTINGS. NO VERTICAL OR HORIZONTAL PIPES OR CONDUITS SHALL BE LOCATED THROUGH STEEL FRAMES, STEEL COLUMNS, OR STEEL BASE PLATES. PROVIDE FURRING AND/OR THICKENED CONCRETE WHERE REQUIRED TO CLEAR UTILITY SYSTEMS. NOTIFY STRUCTURAL ARCHITECT/ENGINEER PRIOR TO ANY INSTALLATION NOT CONFORMING TO THESE DETAILS.
- ELEVATION OF THE TOP OF FINISHED SLAB = 0'-0", UNLESS NOTED OTHERWISE.
- STRUCTURAL OBSERVATIONS OF THE FOLLOWING ITEMS ARE REQUIRED PER THE TOWN OF AThERTON AND CBC AND SHALL BE CONDUCTED BY ZFA ACCORDINGLY:
 - FOUNDATION EXCAVATIONS AND REINFORCING STEEL PLACEMENT.
 - REINFORCING STEEL FOR CONCRETE SLABS AND WALLS.
 - WOOD FRAMED WALLS PRIOR TO COVERING OR INSTALLING WALL FINISHES.
- THE COMPLETE STRUCTURAL SYSTEM, JUST PRIOR TO WALL FINIHSES.

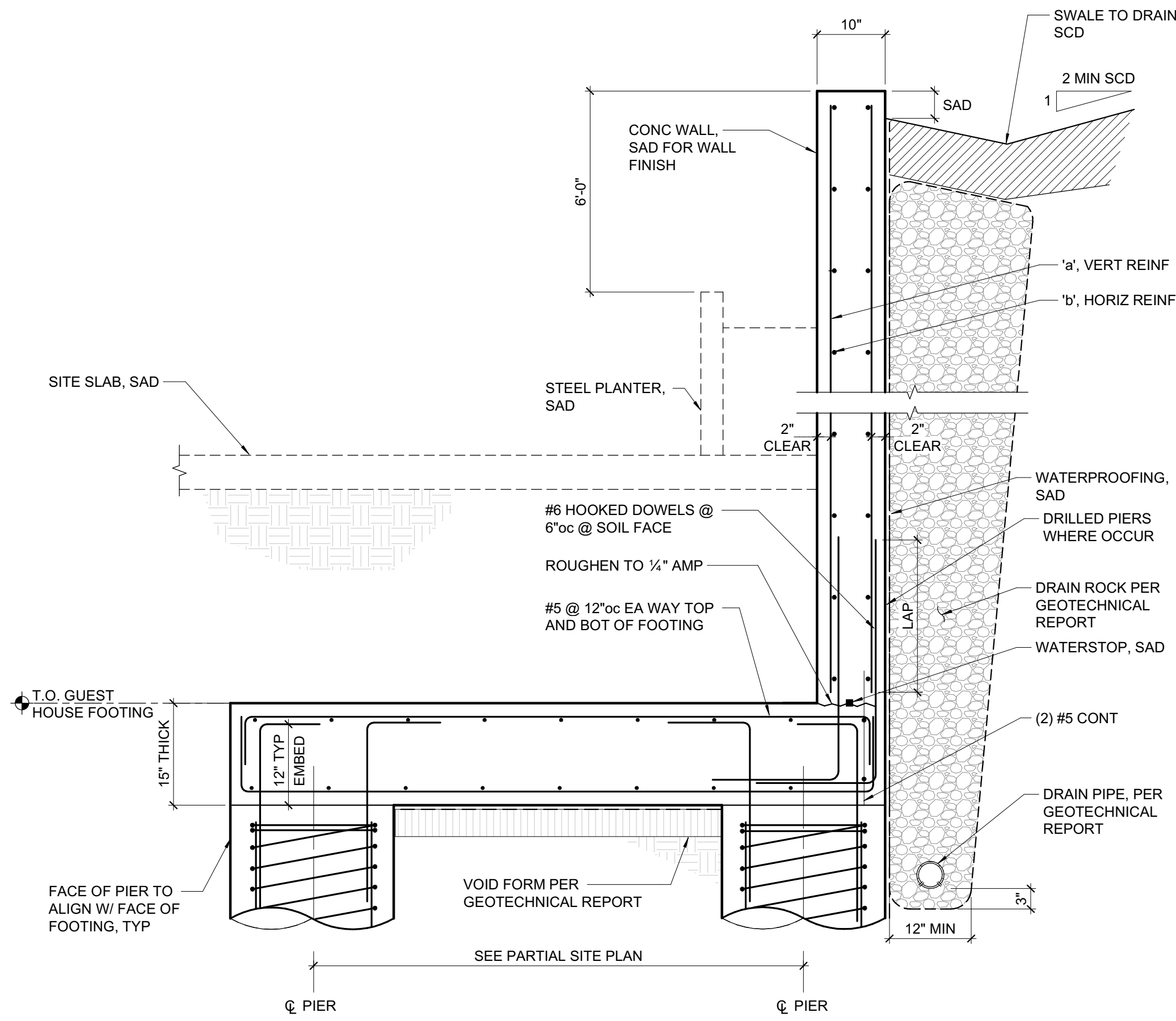
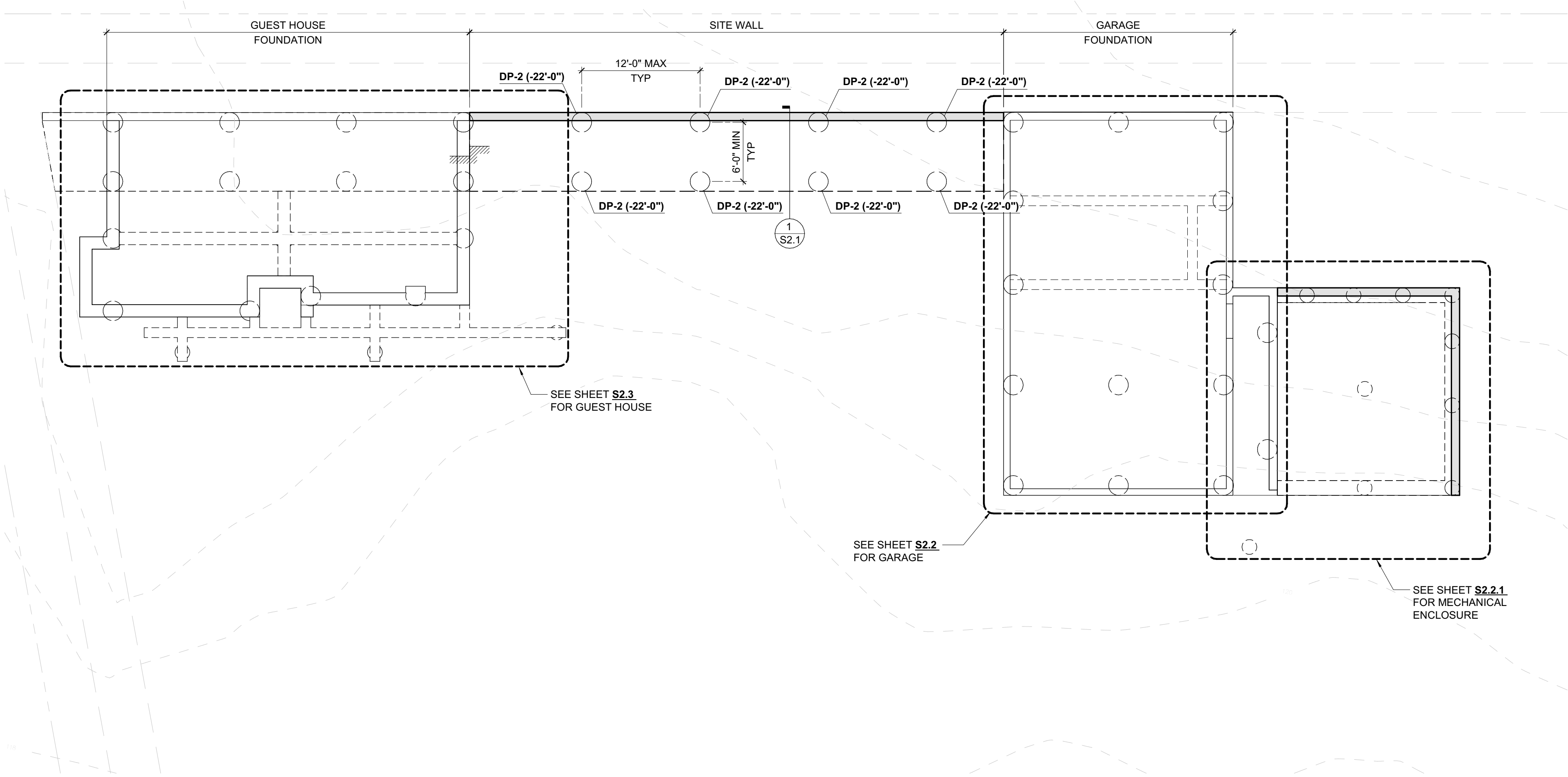
PARTIAL SITE PLAN LEGEND		
SYMBOL	REFERENCE DETAIL	DESCRIPTION
	1/S2.1	INDICATES CONCRETE WALL.
DP-1 (-#'- #")	8/S1.2	INDICATES DRILLED PIER TYPE PER SCHEDULE W/ MINIMUM EMBEDMENT OR UP TO 32 FEET PER GEOTECH, WHEREVER IS GREATER.

DRILLED PIER SCHEDULE				
PIER	Ø MIN	VERT REINF	SPIRAL	REMARKS
DP-1	24"	(6) #6	#4 @ 3"	SEE 8/S1.2
DP-2	24"	(12) #6	#4 @ 3"	
DP-3	18"	(5) #6	#3 @ 3"	
DP-4	18"	(8) #6	#3 @ 3"	
DP-5	18"	(10) #6	#3 @ 3"	



PARTIAL SITE PLAN

1/8" = 1'-0"



1 SITE RETAINING WALL

3/4" = 1'-0"

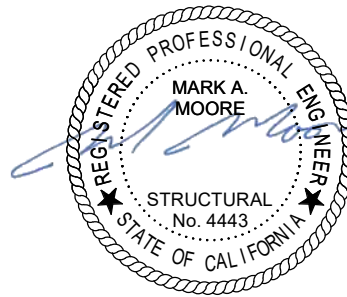
EXHIBIT G

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Revision Schedule		
#	Revision Description	Date
1	Plan Check	7/13/18
2	Revision 2	9/14/18

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san francisco ca 94111
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PROJECT

DEETER RESIDENCE:
GARAGE AND GUEST HOUSE
76 RIDGE DRIVE
ATHERTON, CA 94027

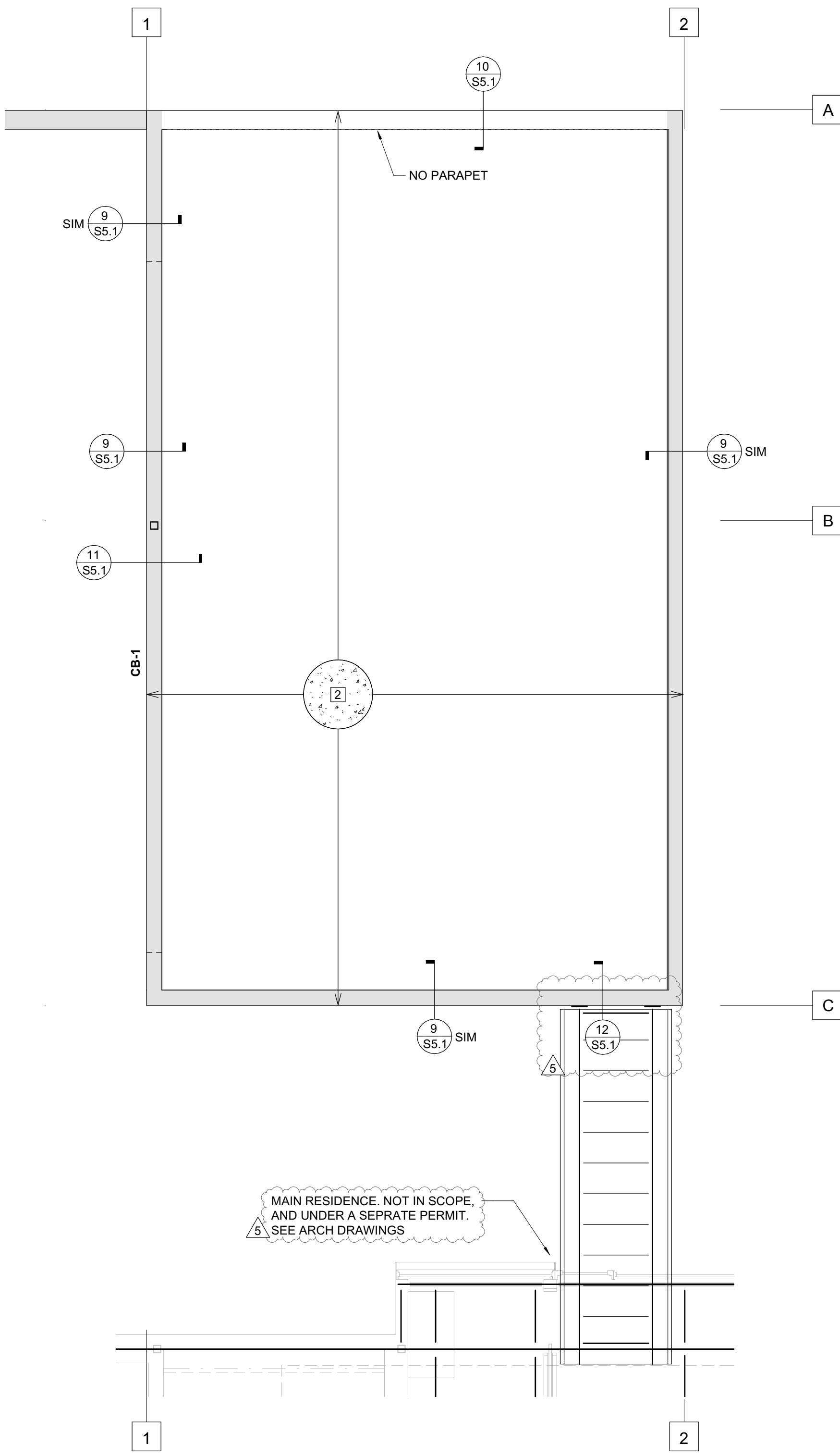
SHEET DESCRIPTION

PARTIAL SITE PLAN

ENGR:	DM	DATE:	06.13.18
PM:	JCP		

SHEET

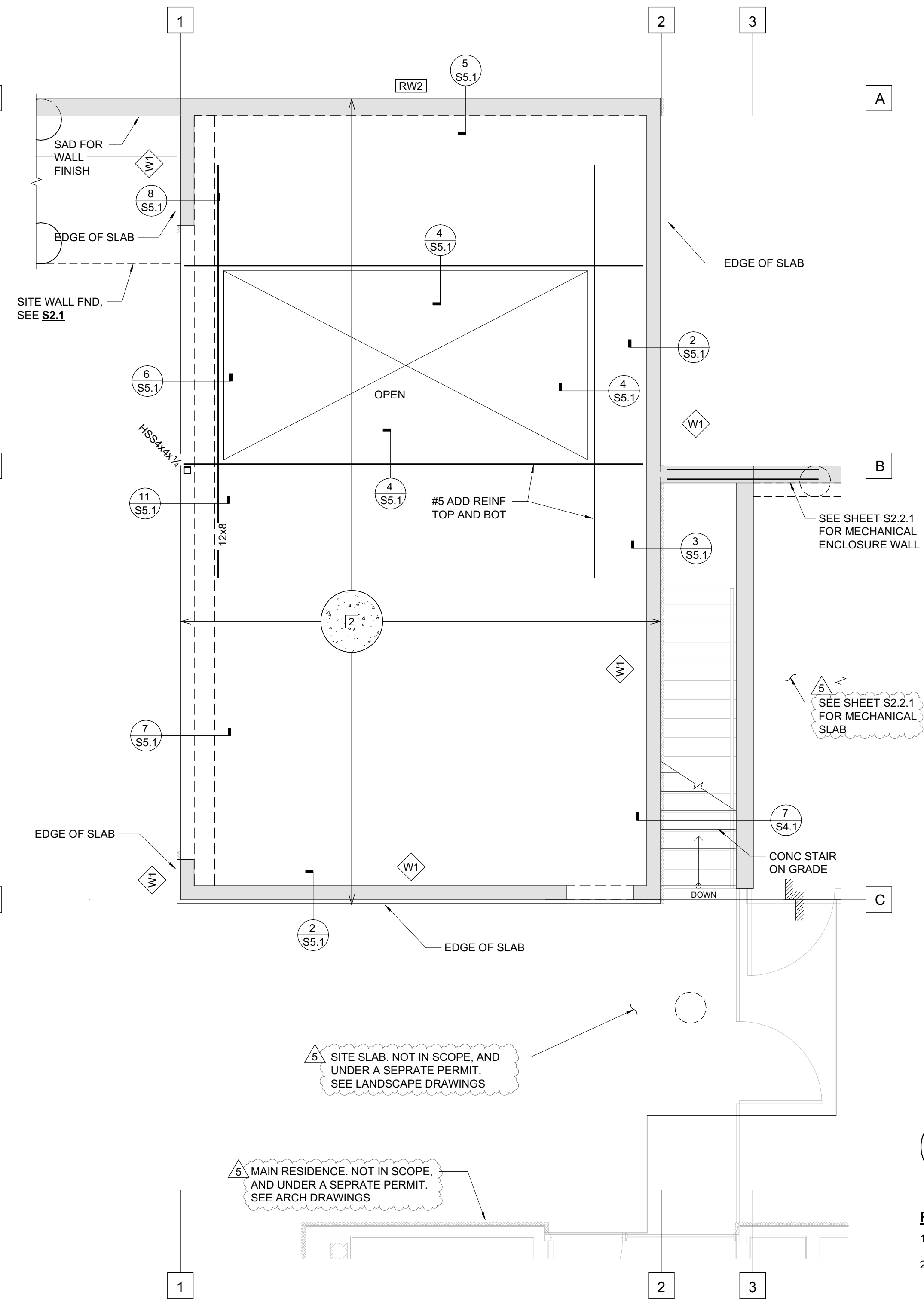
S2.1



GARAGE ROOF PLAN
1/4" = 1'-0"

FRAMING PLAN NOTES:

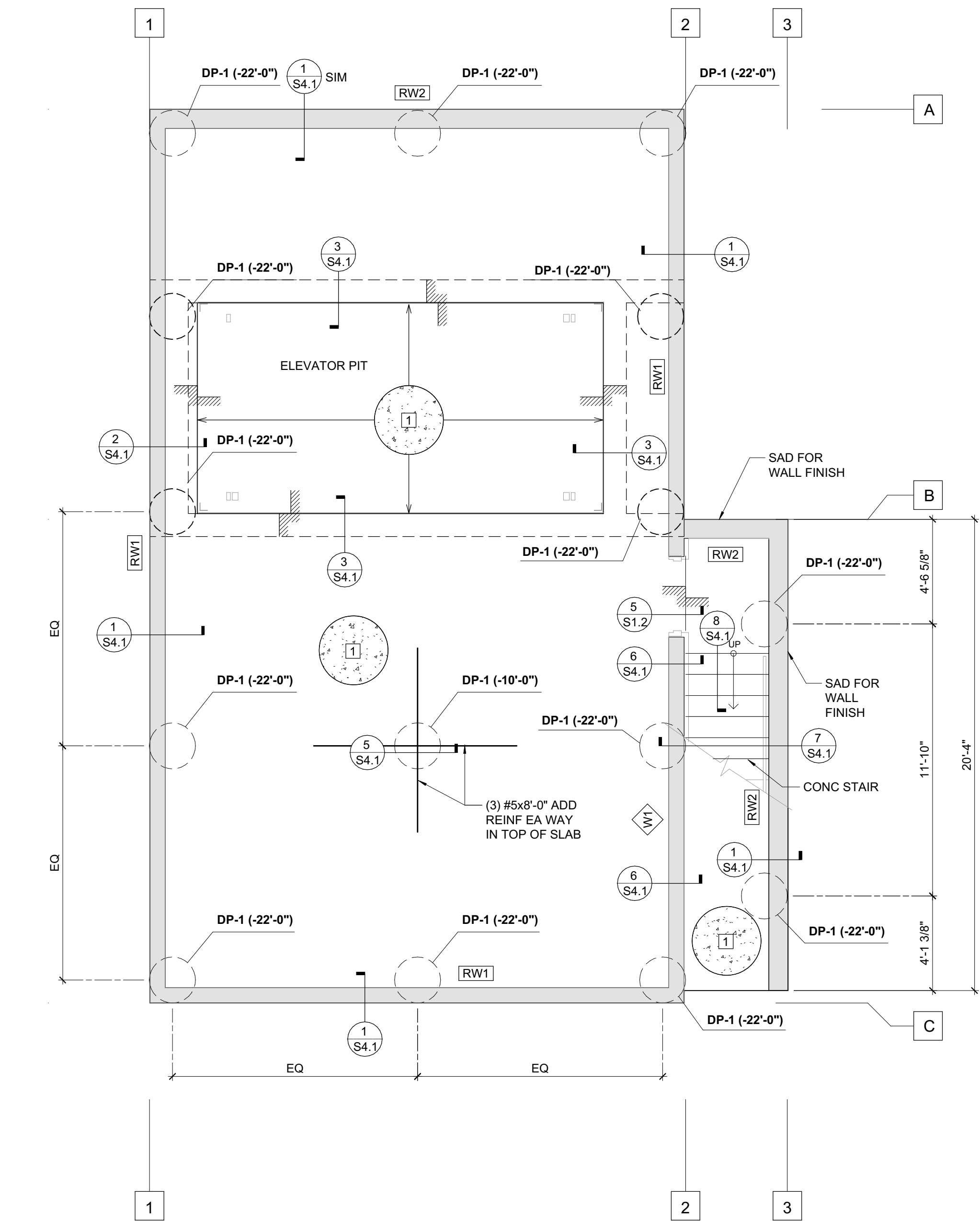
- REFER TO SHEETS **S0.1, S0.2, S1.1, S1.2, S1.3, S1.4, S1.5** AND **S5.1** FOR GENERAL NOTES AND TYPICAL DETAILS. THE FOLLOWING DETAIL REFERENCES ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. ALL GENERAL NOTES AND TYPICAL DETAIL SHEETS NOTED ABOVE ARE APPLICABLE AND SHALL BE FOLLOWED.
- COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
- NO VERTICAL OR HORIZONTAL PIPES OR CONDUITS SHALL BE LOCATED THROUGH STEEL FRAMING, COLUMNS, OR ASE PLATES. PROVIDE FURRING WHERE REQUIRED TO CLEAR UTILITY SYSTEMS. NOTIFY ARCHITECT/ENGINEER PRIOR TO ANY INSTALLATION NOT CONFORMING TO THESE RESTRICTIONS.
- SEE ARCHITECTURAL DRAWINGS FOR EDGE OF SLAB, FACE OF WALL, ETCETERA.
- SEE ARCHITECTURAL DRAWINGS FOR TOP OF SLAB ELEVATION.
- BEAM CENTERLINES TO ALIGN WITH COLUMN CENTERLINES, UNLESS NOTED OTHERWISE.
- STRUCTURAL OBSERVATIONS OF THE FOLLOWING ITEMS ARE REQUIRED PER THE TOWN OF ATHERTON AND CBC AND SHALL BE CONDUCTED BY ZFA ACCORDINGLY:
 - FOUNDATION EXCAVATIONS AND REINFORCING STEEL PLACEMENT.
 - REINFORCING STEEL FOR CONCRETE SLABS AND WALLS.
 - WOOD FRAMED WALLS PRIOR TO COVERING OR INSTALLING WALL FINISHES.
 - THE COMPLETE STRUCTURAL SYSTEM, JUST PRIOR TO WALL FINIHSES.



GARAGE FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN LEGEND

SYMBOL	REFERENCE DETAIL	DESCRIPTION
88		INDICATES GRIDLINE AT FACE OF WALL.
		INDICATES STEEL COLUMN.
		INDICATES 8" THICK CONCRETE STRUCTURAL SLAB W/ #5 @ 10"oc, EW, T&B.
		INDICATES CONCRETE WALL.
		INDICATES CONCRETE WALL BELOW.
		INDICATES APPROXIMATE LOCATION, SIZE AND MAXIMUM WEIGHT OF MECHANICAL UNIT. SEE MECHANICAL DRAWINGS FOR ANCHORAGE AND ADDITIONAL INFORMATION.
		INDICATES SECTION.
		INDICATES CONCRETE WALL TYPE PER SCHEDULE.



GARAGE BASEMENT FOUNDATION PLAN
1/4" = 1'-0"

FOUNDATION PLAN NOTES:

- REFER TO SHEETS **S0.1, S0.2, S1.1** AND **S1.2** FOR STANDARD NOTES AND DETAILS.
- DIMENSIONS TO FACE OF WALL UNO. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
- PLUMBING AND ELECTRICAL CONDUIT AND GROUND STRAP SHALL NOT BE LAID WITHIN FOUNDATIONS. NO UTILITY PIPES OR CONDUITS SHALL BE LOCATED THRU COLUMN FOOTINGS OR FRAME FOOTINGS. NO VERTICAL OR HORIZONTAL PIPES OR CONDUITS SHALL BE LOCATED THROUGH STEEL FRAMES, STEEL COLUMNS, OR STEEL BASE PLATES. PROVIDE FURRING AND/OR THICKENED CONCRETE WHERE REQUIRED TO CLEAR UTILITY SYSTEMS. NOTIFY STRUCTURAL ARCHITECT/ENGINEER PRIOR TO ANY INSTALLATION NOT CONFORMING TO THESE DETAILS.
- ELEVATION OF THE TOP OF FINISHED SLAB = 0'-0", UNLESS NOTED OTHERWISE.
- STRUCTURAL OBSERVATIONS OF THE FOLLOWING ITEMS ARE REQUIRED PER THE TOWN OF ATHERTON AND CBC AND SHALL BE CONDUCTED BY ZFA ACCORDINGLY:
 - FOUNDATION EXCAVATIONS AND REINFORCING STEEL PLACEMENT.
 - REINFORCING STEEL FOR CONCRETE SLABS AND WALLS.
 - WOOD FRAMED WALLS PRIOR TO COVERING OR INSTALLING WALL FINISHES.
 - THE COMPLETE STRUCTURAL SYSTEM, JUST PRIOR TO WALL FINIHSES.

DRILLED PIER SCHEDULE				
PIER	Ø MIN	VERT REINF	SPIRAL	REMARKS
DP-1	24"	(6) #6	#4 @ 3"	SEE S1.2
DP-2	24"	(12) #6	#4 @ 3"	
DP-3	18"	(5) #6	#3 @ 3"	
DP-4	18"	(8) #6	#3 @ 3"	
DP-5	18"	(10) #6	#3 @ 3"	

FOUNDATION PLAN LEGEND		
SYMBOL	REFERENCE DETAIL	DESCRIPTION
		INDICATES CONCRETE WALL.
		INDICATES 12" CONCRETE MAT W/ #5 @ 12"oc, EW, T&B OVER 4" VOID FORM
DP-1 (-#", #")	S1.2	INDICATES DRILLED PIER TYPE PER SCHEDULE W/ MINIMUM EMBEDMENT OR UP TO 32 FEET PER GEOTECH, WHEREVER IS GREATER.
88		INDICATES GRIDLINE AT FACE OF WALL.
W1, RW1		INDICATES CONCRETE WALL TYPE PER SCHEDULE.
		INDICATES STEP IN ELEVATION, SEE ARCHITECTURAL DRAWINGS.
1 S3.1		INDICATES SECTION.

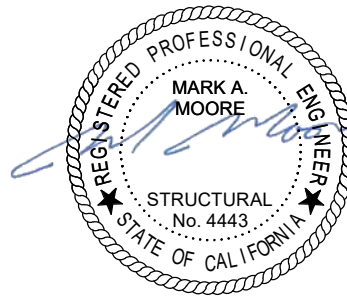
CONCRETE WALL SCHEDULE				
WALL TYPE	NOMINAL THICKNESS	HORIZONTAL REINFORCING	VERTICAL REINFORCING	REMARKS
W1	8"	#5 @ 12"oc	#5 @ 12"oc	
W2	10"	#5 @ 12"oc	#5 @ 12"oc	
RW1	8"	#5 @ 12"oc	#5 @ 10"oc	
RW2	10"	#5 @ 12"oc	#5 @ 10"oc	EA FACE

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Revision Schedule		
#	Revision Description	Date
1	Plan Check	7/13/18
2	Revision 2	9/14/18
5	CONSTRUCTION SET	1/17/20

ZFA STRUCTURAL ENGINEERS
601 montgomery street | suite 1450
san francisco ca 94111
zfa job no. 18083

zfa.com
415.243.4091
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PROJECT

**DEETER RESIDENCE:
GARAGE AND GUEST HOUSE**
76 RIDGE DRIVE
ATHERTON, CA 94027

SHEET DESCRIPTION

**GARAGE
FOUNDATION,
FLOOR, AND
ROOF PLANS**

ENGR:	DM	DATE:	06.13.18
PM:	JCP		

SHEET

S2.2

From: [Jason Leake](#)
To: [Samantha Brown](#)
Subject: Automatic reply: DEETER - Second Floor Priority and End of Project
Date: Wednesday, June 8, 2022 1:11:15 PM

Unfortunately, I tested positive for Covid-19 this morning and therefore expect that keeping up with my work responsibilities will be quite challenging this week.

My apologies for any inconvenience this may cause.

I will do the best I can to fulfill my work commitments while I hope for a speedy recovery.

I will respond to every email and every phone call, but would appreciate some patience as my response times will almost certainly be slower this week.

Thank you,

Jason Leake

From: spencer@bci-homes.com
To: [Samantha Brown](#)
Subject: Fw: Manpower at Deeter
Date: Wednesday, December 9, 2020 2:30:00 PM

Please file in an appropriate place for our delay defense. Do you have the letter from Tyler at Argonaut?

Spencer Curry

BEHRENS-CURRY HOMES

www.bci-homes.com

w/650.631.2909

c/650.315.4748

f/650.631.3926

From: Cathy Haire <cathy@resiheat.com>
Sent: Tuesday, December 8, 2020 6:15 PM
To: spencer@bci-homes.com <spencer@bci-homes.com>
Subject: Manpower at Deeter

Hi Spencer: I apologize for our delay in starting out at Deeter. In the last three weeks we've had two of our guys contract Covid (positive test with symptoms, Mark has been released back to work as of today, Francisco still has a Dr's note to be off). Last week we thought we had a third, but that ended up as a common cold/upper respiratory infection (but we had to quarantine him until his test results came back negative). I also have/had three others we had to quarantine due to close contact with the two that tested positive, the last of the three finally comes back on Thurs..

The last two months have been really challenging and we have to wrap up the jobs we're on before starting you. Mark will be back to work tomorrow, but has residual symptoms (no smell/taste, but also vertigo so we have to keep him off ladders). I'll have him start building your custom rectangular ducting in the shop this week, but it still may be next week before you see installers on site. I apologize for the delayed start, but these are unprecedented times and it's really hard to commit to tight schedules right now.

Cathy Haire, Pres.

Residential Heating and Air Conditioning, Inc.

Direct Phone: (408) 484-6310 (office landline)

Cell: (408) 202-3019

From: john@bci-homes.com
To: [Samantha Brown](#); [Axana Luth](#)
Cc: spencer@bci-homes.com
Subject: FW: Scheduled Work At 76 Ridgeview POSTPONED
Date: Wednesday, September 16, 2020 2:18:29 PM

Samantha,

See email below from Pollack. We'll have to note this as a delay. I'll let you know when they start so we'll have the number of days delayed.

This prevents BB from starting on the terrace until the fire pit walls are backfilled.

We also planned to grade behind the garage and guesthouse before the fence went in. This won't happen I believe they'll continue with the fence.

John

-----Original Message-----

From: Tony Clemente <tony@gpcexcavating.com>
Sent: Wednesday, September 16, 2020 11:23 AM
To: john@bci-homes.com; spencer@bci-homes.com
Cc: Brandon <brandon@gpcexcavating.com>
Subject: Scheduled Work At 76 Ridgeview POSTPONED

John,

We are going to have to postpone the work we had scheduled for tomorrow. The crew we had lined up was sent home today because a worker (from another company) on their site tested positive for C19. Following protocols, our crew is quarantined until we can have them tested, and they test negative.

We are currently working on having them tested, and then waiting for test results. We will keep you posted.

Sorry for the inconvenience.

Tony

Sent from my iPhone

From: [Debbie Schwartz](#)
To: [Spencer Curry](#); [Samantha Brown](#); [Elvis Martinez](#); [Casey Cramer](#)
Cc: [John Cote](#); [Dean Melendez](#); [Eric Brand](#); [Marty Phelps](#)
Subject: Install update- please read
Date: Thursday, February 3, 2022 9:07:34 AM
Importance: High

Hi All,

I received a message from Elvis, the installer for the Deeter project.

Elvis has tested positive for Covid. He and his crew were not at the job site yesterday or today. Elvis felt a bit under the weather over the weekend- and tested Sunday and Monday to rule out Covid. Both days he tested Negative. He let me know he was feeling a bit tired after Tuesday's delivery and lots of stairs- so as a precaution, stayed home to test again, and it came back Positive. He has had his crew that was with him test as well- all are negative. Elvis let me know they were all wearing masks at the job site. He did want me to relay that he did work through a lot of the electrical with Raymond from Dean's crew.

Dean- can you please let Raymond know he should get tested as well. (I'll follow up with a phone call)

Elvis is feeling better today and unless anything changes, plans to be back on Monday (5 days & symptom free) with his team to complete the install. Please see the attached guidelines Elvis & Team and make sure everyone follows all recommended guidelines.

[COVID-19 Quarantine and Isolation | CDC](#)

For installation updates:

- Bath 206- installed
 - There is an outlet on the side of the waterfall. Raymond let Elvis know he would need to use a standard box vs. a slim box- so that will not be contained in the 1.75" side of the waterfall & .75" cabinet side.
 - Outlet was cut in- and will fit into the false front spacing for the sink
 - Elvis will add some material to isolate the romex
 - ***ELVIS- please add anything I may be missing.
- Bath 202
 - Tile still needed to be grouted- so install on hold till complete. It should be ready for Monday.
- Bath #209
 - There were outlets on both sides of the vanity. The east side will remain. The West side outlet was eliminated.
 - Dean- can you double check that this does in fact need to be a full depth box vs. the slim box.
 - Elvis has a game plan he can tackle when he's back. He's hoping it will fit without any retrofitting to the drawer box.
- Mud #116
 - Is currently stored in the garage while the Fire taping is complete in the area and Boot for venting is installed.

Please let me know if there are any questions.

We hope you continue to feel better Elvis. Please pass along the CDC guidelines to your crew so they can follow. Also, please let us know how all is going in the following days and when you will plan on being back at the job site.

Thanks,
Debbie

Debbie Schwartz
The Village Collection, Inc.
1303 Elmer Street
Belmont, CA 94002
650-802-2185-office
650-594-1635-showroom
www.thevillagecollection.net

From: [Miguel Flores](#)
To: [Jason Leake](#); spencer@bci-homes.com; john@bci-homes.com
Cc: [Samantha Brown](#); [Jose Chavez](#)
Subject: Re: 76 Ridge View
Date: Thursday, April 15, 2021 7:37:16 AM
Attachments: [image001.png](#)
[Outlook-1498236180.png](#)

Good morning all,

Unfortunately, we are not expecting Gerardo back today, he is going to the doctors today and hopefully he gets clear to come back tomorrow.

Jose will need to do some inspections this morning in Burlingame and will be at the job site hoping by noon today. I am sorry for the inconvenience.

Thanks,



(Work Hours 7:00 AM to 3:00 PM)

Miguel Flores | Field Manager

3046 Rolison Rd., Redwood City, CA 94063

650-520-0372 m (preferred) 650-268-9928 p 650-949-1797 f

PM@controlfire.biz

From: Jason Leake <jleake@controlfire.biz>

Sent: Wednesday, April 7, 2021 9:45 AM

To: spencer@bci-homes.com <spencer@bci-homes.com>; john@bci-homes.com <john@bci-homes.com>

Cc: [Samantha Brown](mailto:samantha@bci-homes.com) <samantha@bci-homes.com>; [Miguel Flores](mailto:pm@controlfire.biz) <pm@controlfire.biz>; [Jason Leake](mailto:jleake@controlfire.biz) <jleake@controlfire.biz>

Subject: 76 Ridge View

Sounds good Spencer. We'll get someone out there to check it out with you.

Miguel, please let Spencer know when you can get someone out here to walk this with Spencer/John.

Thank you,

Control Fire: Jason we should make sure you can get access to each of the second floor areas before

we close this up. It might save you...not easy install



Jason Leake | President
3046 Rolison Rd. | Redwood City, CA 94063
☎(650) 268-9928 | 📠(650) 649-1797 | M (650)-222-1149
✉jleake@controlfire.biz | 🌐 www.controlfire.biz

From: spencer@bci-homes.com <spencer@bci-homes.com>

Sent: Tuesday, April 6, 2021 6:12 PM

To: john@bci-homes.com; Ryan Laubach <RyanL@legacyroofing.net>; Kurt Newick <kurtn@cobaltpower.com>

Cc: Chris VanLoon <ChrisV@resiheat.com>; Dean Melendez <losaltoselectric@yahoo.com>; Tony <saxelbyplumbing@sbcglobal.net>; Joe Hutton <joe@avtinfo.com>; Stasha Maroney <stasha.maroney@energy-house.com>; Samantha Brown <samantha@bci-homes.com>; Jason Leake <jleake@controlfire.biz>

Subject: Re: Ridge View

All,

I'm happy to meet with any of you to go through an individual punch list and/or assist in finding pathways to complete your scope of work.

Saxelby Plumbing: meeting this week to find locations available for vents. *What is code for clearance above a vent? We may need to vent below the high end of solar panels.

HVAC: Chris we need to map out venting for dryer vents and review everything to make sure you're completed prior to closing up. Complete connections of all ducting. Install fire stops at all oversized cutouts in plywood into living space. Do you need to schedule a HERS test in that area before it becomes inaccessible?

Cobalt: Need to run your sub feed up and out a side wall of this roof enclosure. Disconnect required on roof?

AVT: not sure if you need to access anything in this enclosure but chime in if you do.

Energy House: Need to complete installation of the flue pipe out the side wall or up through the top

From: [Alicia Rock](#)
To: spencer@bci-homes.com; [Jason Leake](#)
Cc: [Samantha Brown](#); john@bci-homes.com; [Casey Cramer](#); [Miguel Flores](#); [Pedro](#)
Subject: RE: 76 Ridgeview- MH Sprinkler Install
Date: Tuesday, July 7, 2020 9:17:49 AM
Attachments: [image001.png](#)

Hi Spencer,

As of now our plans for the bridge install this Friday have changed. All of our shop welders were sent home this morning due to possible contact with Covid, and will need to get tested and verified negative before returning to work. My understanding is that results can take a few days to a week to receive. I'll send you an update as soon as I have more information on when we can reschedule this install.

Thank you,



Alicia Rock

Designer/Drafter

[Bill Brown Construction Co.](#)

242 Phelan Ave.

San Jose, CA 95112

Tel 408.297.3738 ext. 117

Fax 408.297.3848

From: Alicia Rock

Sent: Monday, July 6, 2020 3:15 PM

To: spencer@bci-homes.com; [Jason Leake <jleake@controlfire.biz>](mailto:jleake@controlfire.biz)

Cc: [Samantha Brown <samantha@bci-homes.com>](mailto:samantha@bci-homes.com); john@bci-homes.com; Casey Cramer <casey@arcanumarchitecture.com>; Miguel Flores <pm@controlfire.biz>; Pedro <Pedrofajardo.bbcc@gmail.com>

Subject: RE: 76 Ridgeview- MH Sprinkler Install

Hi Spencer,

We're bringing the steel frame to the job site Thursday morning to be unloaded and staged, and will hoist it into place on Friday.

Let me know if you have any questions.

Thank you,



Alicia Rock

Designer/Drafter

[Bill Brown Construction Co.](#)

242 Phelan Ave.

San Jose, CA 95112

Tel 408.297.3738 ext. 117

Fax 408.297.3848

From: spencer@bci-homes.com <spencer@bci-homes.com>

Sent: Wednesday, July 1, 2020 6:13 PM

To: [Jason Leake <jleake@controlfire.biz>](mailto:jleake@controlfire.biz)

Cc: [Samantha Brown <samantha@bci-homes.com>](mailto:samantha@bci-homes.com); [Alicia Rock <arock@bbrownconstruction.com>](mailto:arock@bbrownconstruction.com); john@bci-homes.com; Casey Cramer <casey@arcanumarchitecture.com>; Miguel Flores

From: [Mark Cottonaro](#)
To: [Samantha Brown](#); [Spencer Curry](#); [Casey Cramer](#)
Cc: [John Cote](#); [Dani Souza](#)
Subject: RE: 07230-L_BEHRENS-CURRY_UNDERMT SINKS
Date: Tuesday, January 25, 2022 12:22:34 PM
Attachments: [image003.png](#)
[image001.png](#)

Samantha, I'm checking on those now for you. Sorry were just getting back up and running after weeks of a covid outbreak that set up back considerably. My apologies. I've been trying to reach out to everyone to let them know.

Mark A. Cottonaro
President & CEO
Biotech . Research . Defense . Pharma
Food Service. Residential . Architectural

Berlin Food & Lab Equipment Co. Est 1941
North American Facility
43 South Linden Ave
South San Francisco, CA 94080
P. 650-589-4232 x19
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C. 650-465-6397
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Performance Through Stainless!

A single twig breaks, but the bundle of twigs is strong.

– Tecumseh

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From: [Tony](#)
To: [Spencer Curry](#)
Cc: [John Cote](#); [Samantha Brown](#)
Subject: Re: Deeter
Date: Thursday, January 6, 2022 3:13:31 PM

Hi

I won't be in for a few days Pedro tested positive on Tuesday and I tested positive yesterday. He has the three shots and I have none. I have no symptoms.

Sent from my iPhone

On Jan 6, 2022, at 3:00 PM, Spencer Curry <spencer@behrenscurry.com> wrote:

Tony,

I need you out asap to do the master shower mock up so we can finish the drywall and begin plaster knowing everything works as planned/designed. We are also ready finally for you to install the master tub. We have the framing completed. Ready to core drill and set the tub complete and the tub filler.

Lastly, are we good to shut off the plywood at the master outdoor shower and waterproof the drain and shower valve floor mount?

Please let me know if you can start on Monday...we have a ton going on and need the help. I also want to review my plans at master sink faucet and drain install.

Thanks,
Spencer

Please note: Behrens & Curry Inc has changed the company domain for the web address and all associated email addresses. Our new website address is: www.behrenscurry.com. My new email address domain is: spencer@behrenscurry.com

Spencer Curry
BEHRENS-CURRY HOMES
w.650.631.2909
c.650.315.4748
spencer@behrenscurry.com
www.behrenscurry.com

From: [Samantha Brown](#)
To: [Samantha Brown](#)
Subject: RE: Manpower at Deeter
Date: Thursday, December 10, 2020 8:22:16 AM

From: Cathy Haire <cathy@resiheat.com>
Sent: Tuesday, December 8, 2020 6:15 PM
To: spencer@bci-homes.com <spencer@bci-homes.com>
Subject: Manpower at Deeter

Hi Spencer: I apologize for our delay in starting out at Deeter. In the last three weeks we've had two of our guys contract Covid (positive test with symptoms, Mark has been released back to work as of today, Francisco still has a Dr's note to be off). Last week we thought we had a third, but that ended up as a common cold/upper respiratory infection (but we had to quarantine him until his test results came back negative). I also have/had three others we had to quarantine due to close contact with the two that tested positive, the last of the three finally comes back on Thurs..

The last two months have been really challenging and we have to wrap up the jobs we're on before starting you. Mark will be back to work tomorrow, but has residual symptoms (no smell/taste, but also vertigo so we have to keep him off ladders). I'll have him start building your custom rectangular ducting in the shop this week, but it still may be next week before you see installers on site. I apologize for the delayed start, but these are unprecedented times and it's really hard to commit to tight schedules right now.

Cathy Haire, Pres.

Residential Heating and Air Conditioning, Inc.

Direct Phone: (408) 484-6310 (office landline)

Cell: (408) 202-3019

From: [Tony](#)
To: [John Cote](#)
Cc: [Spencer Curry](#); [Samantha Brown](#)
Subject: Re: Ridge View master shower, tub.
Date: Wednesday, January 12, 2022 8:14:57 AM

Still positive.

Sent from my iPhone

On Jan 12, 2022, at 7:51 AM, John Cote <john@behrenscurry.com> wrote:

Tony,

Are you finished with the outdoor shower off the master bedroom?
We're ready to install the plywood, waterproofing, and siding.

The master tub is ready to install the deck is built and the tub is up there.

The sprinkler sub brought his main line outside the building. It's ready for you to connect.

Can you take care of this week?

Thanks,
John

John Cote

BEHRENS-CURRY HOMES

Superintendent

w. 650-631-2909 x107

c. 650-642-0507

john@behrenscurry.com

www.behrenscurry.com

From: [Vito Racanelli](#)
To: john@bci-homes.com; spencer@bci-homes.com
Cc: [Samantha Brown](#)
Subject: Re: Ridge View pool heater pipe termination.
Date: Tuesday, January 5, 2021 1:02:08 PM

Hello all and Happy New Year! We got hit really hard with the Covid virus. 3/4's of our company has been under quarantine! I have a group coming back tomorrow but we will not be at full force until this Friday. Thankfully the 3 men that tested positive to this virus are all feeling better. Now it all about quarantining to be over.

Vito Racanelli
Roco's Gardening and Arroyo Vista Landscape
520 Westchester Drive Suite 1
Campbell Ca. 95008
Office phone 408-369-1898
Cell phone 408-206-5618

On Wednesday, December 30, 2020, 09:33:45 AM PST, spencer@bci-homes.com <spencer@bci-homes.com> wrote:

God yes!

Spencer Curry

BEHRENS-CURRY HOMES

w.650.631.2909

c.650.315.4748

f.650.631.3926

spencer@bci-homes.com

www.bci-homes.com

From: Vito Racanelli <rocos123@yahoo.com>
Sent: Wednesday, December 30, 2020 9:23 AM
To: john@bci-homes.com; spencer@bci-homes.com
Cc: Samantha Brown <samantha@bci-homes.com>
Subject: Re: Ridge View pool heater pipe termination.

Thanks all, Have a happy New Year! Looking forward to a New Year!

From: [Brandon Pollack](#)
To: spencer@bci-homes.com
Cc: john@bci-homes.com; [Thomas Strider](#); [Tony Clemente](#); [David Goldenberg](#); [Samantha Brown](#); [Pedro](#)
Subject: Re: Ridge View site wall piers.
Date: Thursday, July 23, 2020 7:54:30 PM

we can't
we are all screwed up with the 8 guys in covid quarantine.
it'll be the end of next week.

i'll keep u updated.

try our best to get there asap.

thx.

Brandon Pollack
Gary Pollack Construction & Excavation
Pollack Equipment Rentals
650 280 2953

On Jul 23, 2020, at 7:52 PM, "spencer@bci-homes.com" <spencer@bci-homes.com> wrote:

Can't we start the work on Tuesday? Cut the pad, layout piers on Wednesday and start drilling Thursday. Shoot for that.

Spencer Curry
BEHRENS-CURRY HOMES
w.[650.631.2909](tel:650.631.2909)
c.[650.315.4748](tel:650.315.4748)
f.[650.631.3926](tel:650.631.3926)
spencer@bci-homes.com
www.bci-homes.com

On Jul 22, 2020, at 6:12 PM, "john@bci-homes.com" <john@bci-homes.com> wrote:

Thomas,

We're expecting the piers next Thursday.
I'll check in with Brandon to see if he can schedule the following week.

John

From: [Debbie Schwartz](#)
To: spencer@bci-homes.com; [Eric Brand](#); [Casey Cramer](#)
Cc: [Samantha Brown](#)
Subject: RE: Site visit request at 76 Ridge View!
Date: Tuesday, January 19, 2021 10:29:25 AM
Importance: High

Hi Spencer and Casey,

For precautionary reasons, Eric & I will need to either reschedule or move our Thursday Deeter meeting to Zoom. 2 of our crew were at a job site where there had been a Covid outbreak the week prior, and the contractor and homeowners were not forthcoming to us re: the situation. We just found out that the homeowner has tested positive for Covid now as well. Even though the risk is very minimal that anyone from our shop did catch anything, we can't take the chance right now until we have both our workers come back with a negative test result. I'm sorry for any inconvenience. If a Zoom Meeting works, we're happy to partake in that. Please let us know. We'll keep the time open until we hear back. Fingers crossed this is all for not.

Thanks for your understanding.

Debbie

Debbie Schwartz
The Village Collection, Inc.
1303 Elmer Street
Belmont, CA 94002
650-802-2185-office
650-594-1635-showroom
www.thevillagecollection.net

From: Debbie Schwartz
Sent: Saturday, January 16, 2021 2:28 PM
To: spencer@bci-homes.com; ericbrand@thevillagecollection.net; Casey Cramer <casey@arcanumarchitecture.com>
Subject: RE: Site visit request at 76 Ridge View

Hi Spencer,

Happy New Year! Great to hear from you! Yes- Next week- Thursday the 21st- we are confirmed for 9:00 to meet you and Casey at the Deeter residence.

Have a great weekend.

Debbie

Debbie Schwartz
The Village Collection, Inc.
1303 Elmer Street
Belmont, CA 94002
650-802-2185-office
650-594-1635-showroom

From: Jon Behrens
To: Scott
Cc: John Cote; Spencer Curry; Samantha Brown
Subject: Re: Docs. Container CAIU2654701 + HLB3006100
Date: Monday, June 27, 2022 11:45:45 AM
Attachments: 078F58C1A84F48D6864833F7561D936F.png
image004.png
078F58C1A84F48D6864833F7561D936F.png
078F58C1A84F48D6864833F7561D936F.png
image004.png

scott with all of this below what's your best guess at when the first load hits ridgeview?

jon behrens (iphone)

On Jun 27, 2022, at 10:21 AM, Scott <scott@waltonsons.com> wrote:

FYI,

We have been trying.

Thank you,
Scott Walton
[650-996-8893](tel:650-996-8893)

From: sandrob <sanberna46@gmail.com>
Sent: Friday, June 24, 2022 11:31 AM
To: Scott <scott@waltonsons.com>; Shannon Lacey <shannon@pbm1923.com>
Cc: Marcos Guzman <marcos@pbm1923.com>
Subject: RE: Docs. Container CAIU2654701 + HLB3006100

Scott and Shannon
We appreciate your understanding. I hope we can avoid any further delays.

Best regards

Alessandro Bernardini
S.ABER ASSOCIATES
T. (818) 439 3404

Sent from [Mail](#) for Windows

From: Scott
Sent: Friday, June 24, 2022 11:29 AM
To: [Shannon Lacey](#); [sandrob](#)
Cc: [Marcos Guzman](#)
Subject: Re: Docs. Container CAIU2654701 + HLB3006100

To all.

It sounds as though we should stay the course. I understand your struggle, and do not want to make a decision that will delay further.

Thank you,
Scott Walton
[650-996-8893](tel:650-996-8893)

From: Shannon Lacey <shannon@pbm1923.com>
Sent: Thursday, June 23, 2022 4:02 PM
To: sandrob <sanberna46@gmail.com>; Scott <scott@waltonsons.com>
Cc: Marcos Guzman <marcos@pbm1923.com>
Subject: Re: Docs. Container CAIU2654701 + HLB3006100

Thank you and I greatly appreciate all your help and info in helping us acquire these loads.

Shannon Lacey 408-497-0878
Peninsula Building Materials
13755 Llagas Ave
San Martin CA. 95046

From: sandrob <sanberna46@gmail.com>
Sent: Thursday, June 23, 2022 3:43:26 PM
To: Shannon Lacey <shannon@pbm1923.com>; Scott <scott@waltonsons.com>
Cc: Marcos Guzman <marcos@pbm1923.com>
Subject: RE: Docs. Container CAIU2654701 + HLB3006100

Shannon

We wanted to let you know that we are still looking at different options with our partners to find faster alternative for these shipment. You are correct in stating that whereas Mediterranean Shipping Company is the only carrier from Portugal offering direct all water service into West Coast ports at the moment with transit times of 35 days, the reality is that the vessels sometimes sit outside the port of Oakland for a couple of weeks and even if the containers are offloaded from the vessel, they might not be available for delivery for another 2-3 weeks at least since often they are placed in an area of the port that cannot be accessed until the trucker is notified. So the actual transit times can extend to over 60 days or more. PBM in fact has two containers from Spain that are being delivered this week after the vessel arrived beginning of June.

The service offered by Hapag Lloyd via Norfolk is claiming 45 day transit times but it actually extends to 60 days or more due to transshipment delays in Morocco (Tangier Med). Once it hits the port of Norfolk we are hoping the containers will immediately be railed and arrive at destination rail ramp within another week and this way avoiding port congestion in Oakland.

The first 2 containers via Norfolk will give us an idea of the actual transit time, once they are received. In the meantime other containers have been loaded but I would suggest not terminating the voyage in Norfolk, as then the containers would have to be transloaded, as the steamship line will not allow for them to be transported across country on flat beds. Of course the costs for this operation is quite expensive and the cargo would also be at greater risk of damage.

This last option will not guarantee any time savings in the long run not matter the extra cost. In fact it is quite hard to find carriers that will accept this type of cross country delivery due to lack of special equipment. Of course the last resort would be air freight, but at prohibitive costs.

We hope to have answered most of your questions and we assure you we are still researching other solutions in the meantime.

Best regards

Alessandro Bernardini
S.ABER ASSOCIATES
T. (818) 439-3404

Sent from [Mail](#) for Windows

From: [Shannon Lacey](#)
Sent: Wednesday, June 22, 2022 1:11 PM
To: [Scott](#)
Cc: [sandrob](#); [Marcos Guzman](#)
Subject: RE: Docs. Container CAIU2654701 + HLB3006100

That's why the loads are going into VA because the Oakland port is so backed up it could be 2-3 weeks just sitting at the port and that doesn't take into consideration the time to schedule a truck which could be another 2 weeks. This route is the fastest.



Peninsula Building Materials
Shannon Lacey / Outside Sales
Office # 408-683-2580
Cell # 408-497-0878
<http://www.pbm1923.com>

From: Scott <scott@waltonsons.com>
Sent: Wednesday, June 22, 2022 1:09 PM
To: Shannon Lacey <shannon@pbm1923.com>
Cc: sandrob <sanberna46@gmail.com>; Marcos Guzman <marcos@pbm1923.com>
Subject: Re: Docs. Container CAIU2654701 + HLB3006100

Another thought is.
What kind of delays does Oakland have compared to what is already in the plan for Virginia.

If we lose 15 days because Oakland is so backed up it may be better to just have it shipped to Norfolk Virginia and save the time by scheduling a truck from conception.

Looking for your expertise and knowledge on what is trending at these ports.

Sent from my iPhone

On Jun 22, 2022, at 12:59 PM, Scott <scott@waltonsons.com> wrote:

Hi all,

If I may chime in.
Again thank you for all of your efforts and we understand the cost.
Time is more of the essence on this project moving forward I'm going to say yes to Oakland.
I understand it may be too late for these two containers and it has stock PVM material may not be an option for this container.

Saving 15 days is crucial for the rest of the containers for the Deeter project.

Sent from my iPhone

On Jun 22, 2022, at 11:25 AM, Shannon Lacey <shannon@pbm1923.com> wrote:

Ok thanks Sandro. Let me see what I can get on the other P.O's.



Peninsula Building Materials
Shannon Lacey / Outside Sales
Office # 408-683-2580
Cell # 408-497-0878
<http://www.pbm1923.com>

From: sandrob <sanberna46@gmail.com>
Sent: Wednesday, June 22, 2022 11:17 AM
To: Shannon Lacey <shannon@pbm1923.com>; Marcos Guzman <marcos@pbm1923.com>
Cc: Scott <scott@waltonsons.com>
Subject: RE: Docs. Container CAIU2654701 + HLB3006100

Hi Shannon
It might be too late for these containers arriving shortly. As for the others I can check if there is an option to ship by flatbed to RWC but
At this time it is very difficult to find carriers that will do this. Can you give me the POs for the upcoming containers so we can find a faster alternative which
may be MSC service direct to Oakland. It is more money, as I have advise Marcos about \$ 2000 more but at least 10-15 days faster service to Oakland.

Please let us know urgently.

Thank you

Alessandro Bernardini
SABER ASSOCIATES
T. (818) 439 3404

Sent from [Mail](#) for Windows

From: [Shannon Lacey](#)
Sent: Wednesday, June 22, 2022 10:55 AM
To: [Alessandro Bernardini](#); [Marcos Guzman](#)
Cc: [Scott](#)
Subject: RE: Docs. Container CAIU2654701 + HLB3006100

Hey Alessandro,

I hope all is going well. Hey back on these 2 containers the tracking info that you provided has been very helpful. Thank you for doing that. The update on the tracking says it should hit the port of VA on 6/28 then do rail car to Oakland.

So my questions is there anyway to pay more and have this shipped on a flat bed truck and rerouted directly to our yard in Redwood City?

FYI I have another 4 loads on the way soon and we would probably want to do this for all of them.

If you could let me know the logistics in all that as well as what kind of extra cost that might add.



Peninsula Building Materials
Shannon Lacey / Outside Sales
Office # 408-683-2580
Cell # 408-497-0878
<http://www.pbm1923.com>

From: Alessandro Bernardini <sanberna46@gmail.com>
Sent: Thursday, June 9, 2022 4:47 PM
To: Shannon Lacey <shannon@pbm1923.com>; Marcos Guzman <marcos@pbm1923.com>
Subject: Re: Docs. Container CAIU2654701 + HLB3006100

Shannon

You can track by going to Hapag Lloyd and track by container number. At the moment you won't see anything definitive until after June 18.

Best regards
Alessandro
Sent from my iPhone

On Jun 9, 2022, at 4:01 PM, sandrob <sanberna46@gmail.com> wrote:

Hi Shannon
Both containers are on their way and we don't have a definitive ETA yet. It look more like the end of June.
The carriers are still experiencing delays.

We will keep you advise.

Alessandro Bernardini
SABER ASSOCIATES
T. (818) 439 3404

Sent from [Mail](#) for Windows

From: [Shannon Lacey](#)
Sent: Thursday, June 9, 2022 3:50 PM
To: [sandrob](#); [Marcos Guzman](#)
Subject: RE: Docs. Container CAIU2654701 + HLB3006100

Hi Sandro,

Sorry to bug you with this again. Can you provide current tracking info on the 2 loads below?
They just want to see if its still on schedule to at least land next week.



Peninsula Building Materials
Shannon Lacey / Outside Sales
Office # 408-683-2580
Cell # 408-497-0878
<http://www.pbm1923.com>

From: sandrob <sanberna46@gmail.com>
Sent: Saturday, May 21, 2022 4:29 AM
To: Marcos Guzman <marcos@pbm1923.com>
Cc: Shannon Lacey <shannon@pbm1923.com>
Subject: RE: Docs. Container CAIU2654701 + HLBU3006100

Hi Marcos
Sorry for the mix up. These containers were booked as follows:

Sl: HAPAG LLOYD
v/ X-PRESS MONTE BIANCO
etd Sines: 4TH MAY
eta Oakland 15th JUNE
bkg: 15342269

The vessel sailed on May 7 and has eta in Norfolk on

Alessandro Bernardini
SABER ASSOCIATES
T. (818) 439 3404

Sent from [Mail](#) for Windows

From: [Marcos Guzman](#)
Sent: Friday, May 20, 2022 6:40 PM
To: [sandrob](#)
Cc: [Shannon Lacey](#)
Subject: FW: Docs. Container CAIU2654701 + HLBU3006100

Sandro


Can you get us tracking on these 2 loads

Thank you

Marcos Guzman
Peninsula Building Materials
408-690-1221
www.pbm1923.com

From: Shannon Lacey <shannon@pbm1923.com>
Sent: Friday, May 20, 2022 1:57 PM
To: Marcos Guzman <marcos@pbm1923.com>
Subject: RE: Docs. Container CAIU2654701 + HLBU3006100

This is the info you sent me. Let me know about the contact for tracking.



Peninsula Building Materials
Shannon Lacey / Outside Sales
Office # 408-683-2580
Cell # 408-497-0878
<http://www.pbm1923.com>

From: Marcos Guzman <marcos@pbm1923.com>
Sent: Thursday, May 5, 2022 12:15 PM
To: Shannon Lacey <shannon@pbm1923.com>
Subject: Fwd: Docs. Container CAIU2654701 + HLBU3006100

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From: urnal <urnal@urnal.com>
Sent: Thursday, May 5, 2022 11:36 AM
To: Brigitte Ross <brigitte@pbm1923.com>; Marcos Guzman <marcos@pbm1923.com>
Subject: Docs. Container CAIU2654701 + HLBU3006100

Dear Sirs,

We loaded 2 containers, please find attached the documents:

. Contentor: CAIU 2654701 – Invoice EX2/72 + Packing List
. Contentor: HLBU 3006100 – Invoice EX2/83 + Packing List

Thank you
Best regards
Paula Marques